

CI – Interchange Commercial

1. Character Description – This zoning district is appropriate for automobile-oriented commercial areas located near highway interchanges and intersections of major arterial roadways. These areas provide commercial services for regional customers, visitors to Lebanon and interstate travelers, as well as local residents. Land uses include hospitality, dining and entertainment, large-scale retail, vehicle sales and support services, and other commercial services. These districts have automobile-oriented transportation networks, although pedestrian facilities can also be provided.
2. Intent and Purpose
 - a. To implement the objectives of the Comprehensive Plan as concerns the Interchange Commercial (CI) land use.
 - b. To cater to demands of regional customers, visitors to Lebanon and highway travelers by locating a mix of commercial services near highway interchanges, where they are easily accessible.
 - c. To facilitate the clustering of large-format commercial uses in auto-oriented districts, away from more fine-grained and walkable mixed-use areas.
3. Applicability – This zoning district is applicable to all real property designated as CI on the City of Lebanon zoning atlas,
4. Land Uses

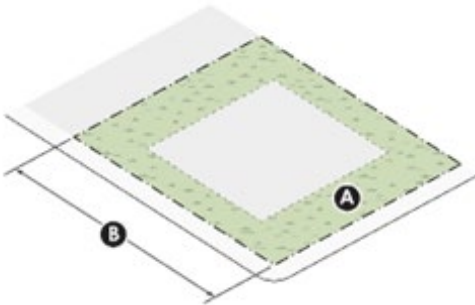
Permitted Uses	Conditional Uses	Prohibited Uses
Animal Care, Shelter and Veterinarian Services	Automotive Repair and Cleaning	Car washes
Automotive Parking	Automotive Servicing	Specialty Smoke and Vape Shops
Community Assembly	Building Materials and Farm Equipment	Any use not specifically allowed
Community Education		
Construction Sales and Services	Check Cashing Services	
Consumer Repair Services		
Convenience Commercial	Vehicular, Craft, and Related Equipment Sales	
Cultural and Recreation Services		
Dwelling, Single-Family*		
Essential Services		
Financial, Consultative, and Administrative Services		
Food and Beverage Services		
Food Service Drive-In, Drive-Thru, and Take-Out		
General Business and Communication Services		
General Personal Services		

Permitted Uses	Conditional Uses	Prohibited Uses
General Retail Trade		
Health Care Facilities		
Hotel and Motel		
Major Entertainment Services		
Medical Services		
Minor Entertainment Services		
Personal and Group Care		
Public Services		
Undertaking Services		
Uses envisioned in the South Hartmann Overlay		
Uses allowed in the Infill Overlay		

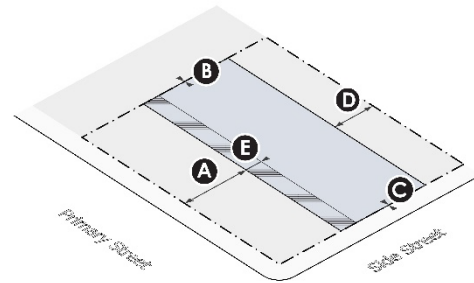
*Single-family residential permitted as an accessory use or on an existing lot of record on June 6, 2023.

5. Lot Development Standards (CI)

a. Lot size



b. Building placement



Lot dimensions		
A	Lot size (min)	10,000 sf
B	Width at building/at property line (min)	100 ft/40 ft
C	Lot size (max) ^a	20 acres

Principal building setbacks		
A	Front setback (min)	30 ft
B	Side setback (min) ^b	10 ft
C	Rear setback (min) ^b	25 ft

Accessory building ^c		
D	Structure area (max)	2,000 sf
	Front setback (min)	30 ft
E	Side setback, corner (min)	10 ft
F	Rear setback (min)	25 ft

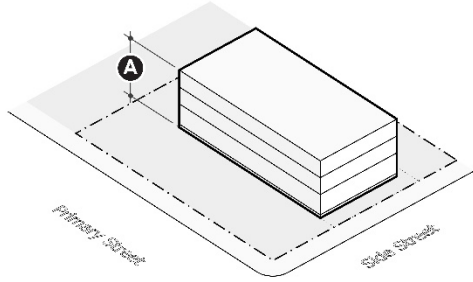
Notes:

- (a) Maximum lot size relates to Vehicular, Craft, and Related Equipment Sales use only.
(b) For Building Materials and Farm Equipment use, the minimum side setback is 50 feet,

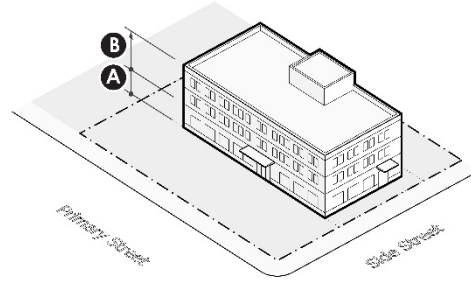
and the minimum rear setback is 50 feet. Exceptions to this rule are possible if screening is provided, see Chapter 14.504. Landscape, Screening, and Buffering.
 (c) Accessory buildings may be residential for employees living on site.

6. Building Development Standards (CI)

a. Building height



b. Façade elements



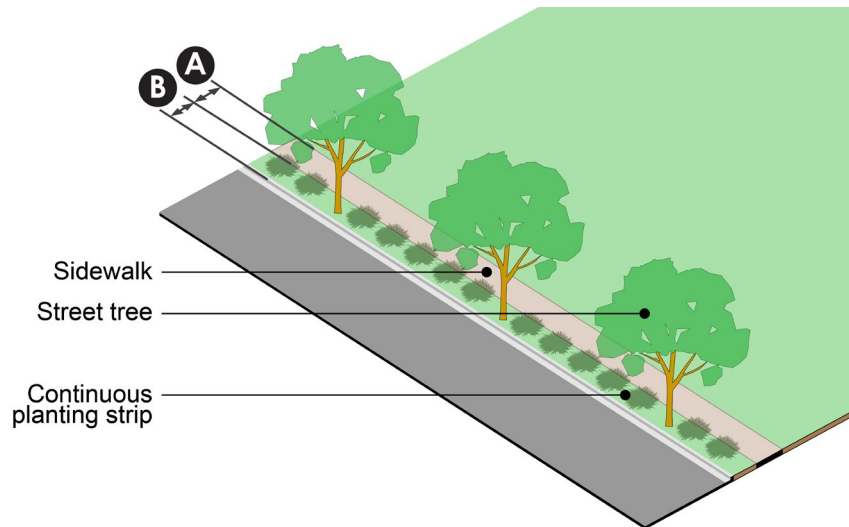
Building height	
A	Primary building height, stories (max) 5
	Primary building height, feet (max) 65
B	Accessory building height, stories (max) 3

Façade elements	
A	Ground floor façade area with windows (min)* 20%
B	Upper floor façade area with windows (min)
	Residential 20%
	Non-residential N/A

*The ground floor façade area extends from 2 feet to 10 feet from the finished floor.

7. Sidewalk and Planting Standards

- a. See Section 14-504-11 for permitted and prohibited plants.
- b. The diagram below defines the sidewalk and planting standards in this zoning district. Minimum width sidewalk width (“A”) is 6 feet. Minimum width of the planting strip (“B”) is 6 feet. Street trees are planted in the planting strip. Modifications to this design may be approved by the Planning Department when the context warrants it.



8. Parking and Loading Standards: Standards for parking and loading/unloading for this district are set out in Chapter 5 of this Ordinance.

9. Front Yard Landscaping Standards

- a. A foundation planting along one hundred (100) percent of the façade of each building which faces a public street, excluding necessary breaks for sidewalks, entrances, etc. The planting area shall be placed at the foundation of the building or may be placed in an alternative location at the discretion of staff that otherwise meets the intent of this section. The foundation planting area shall have a minimum depth of six (6) feet and shall include:
 - i. Two (2) Medium Evergreen Shrubs as specified in Table 14.504-11 for every thirty (30) feet of building façade;
 - ii. Eight (8) Small Evergreen or Deciduous Shrubs (or a combination thereof) of at least two different species as specified in Table 14.504-11 for every thirty (30) feet of building façade. The shrub requirement may also be met with a combination of shrubs and ornamental grasses;
- b. Two Class I Shade Trees, three (3) Class II Shade Trees, four (4) Ornamental Trees, or a combination thereof to achieve a minimum of four (4) trees as specified in Table 14.504-11 for every ninety (90) feet of building façade.

10. Building Design Standards

- a. Orientation: All principal buildings shall face and front a public street or, if an overlay allows it, a courtyard. At least one (1) principal pedestrian entrance is required to face a public street. For the purposes of this standard, limited access highways shall not be considered a public street. A variance from this requirement may be requested if the configuration of the lot forces a principal pedestrian entrance on the side of a building and a pedestrian entrance facing the fronting street or usable open space serves no function. In such instances, there shall be a clear, unobstructed pedestrian path from the principal side entrance to the public sidewalk network. No HVAC or other mechanical equipment shall be allowed

between the building and the fronting street or courtyard.

- b. Transition: Any portion of a building located within 75 feet of adjacent single-family housing shall not exceed the actual height of those houses by more than 1.5 times.
- c. Façade Materials
 - i. Primary Façade Materials
 - (a).A minimum of 75% of Primary Façades, exclusive of openings, shall include materials selected from List 1 in Table 14.507-2, namely: brick, stone, cast stone, stucco (authentic), or EIFS (2 feet above the finished floor elevation)
 - (b).A maximum of 25% of Primary Façades, exclusive of openings, may include materials selected from List 2 in Table 14.507-2, namely: brick, stone, cast stone, stucco (authentic), wood siding/shingles/trim, fiber cement siding/shingles/trim, composite siding, or EIFS (2 feet above the finished floor elevation)
 - ii. Secondary Façade Materials
 - (a).A minimum of 50% of the Secondary Façades, exclusive of openings, shall include materials selected from List 3 in Table 14.507-2, namely: brick, stone, cast stone, stucco (authentic), or EIFS (2 feet above the finished floor elevation).
 - (b).A maximum of 50% of the Secondary Façades, exclusive of openings, may include materials selected from List 4 in Table 14.507-2, namely: brick, stone, cast stone, stucco (authentic), wood siding/shingles/trim, fiber cement siding/shingles/trim, composite siding, or EIFS (2 feet above the finished floor elevation).
- d. Articulation: Building façades that face a public street, private street, or usable open space (excluding Preserve type open spaces) shall not exceed fifty (50) feet in length without a building articulation intended to minimize the mass of the building. Permitted articulations include:
 - i. Façade offset with a minimum depth of two (2) feet that extends to within two (2) feet of the full height of the façade.
 - ii. Façade projection with a minimum depth of four (4) inches and a minimum width of one (1) foot that extends the full height of the first story of the façade.
 - iii. Variation in building or parapet height of a minimum two (2) feet for single story buildings and four (4) feet for buildings with two or more stories.
 - iv. The use of multiple roof forms to create the effect of different building components.
 - v. Awnings, canopies, balconies, and other attachments to façades that meet the standards for Attachments in this section.

11. Openings

- a. Pedestrian Entrances: Required pedestrian entrances shall be defined by a roof covering at least 3 feet deep or by being recessed by at least 3 feet.
- b. Garage openings: Garage doors that face a public or private street shall be limited to a maximum width of ten (10) feet.
- c. Transparency: Building façades that face a public street, private street, or usable open space (excluding Preserve type open spaces) shall have a minimum transparency for each story as described below and consisting of doors, windows, or a combination thereof. Window and door glazing shall not be mirrored or heavily tinted to avoid obscuring visibility into the building.
 - i. The first story of commercial uses shall have a minimum transparency of 20%. Upper stories shall have a minimum transparency of 10%.
 - ii. Residential uses shall have a minimum transparency of 20% on all stories.

12. Roofs

- a. Flat roofs shall have parapet walls on façades that face or are visible from a public street, private street, or usable open space. The primary material used on parapets shall match the material of its associated façade.
- b. Roof-mounted equipment shall be located or screened in a manner to not be visible from a public street, private street, or usable open space (excluding Preserve type open spaces).

13. Attachments

- a. Porches and decks shall have a minimum clear depth of six (6) feet excluding steps. Porches and decks shall not encroach into a public right-of-way.
- b. Stoops shall have a minimum clear depth of three (3) feet excluding steps. Stoops shall not encroach into a public right-of-way.
- c. Balconies shall have a minimum clear depth of four (4) feet. Balconies shall not be fully enclosed.
- d. Bay windows shall have visible support, either by extending the bay to grade with a foundation or transferring the projection back to the wall with beams, brackets, or masonry corbeling.
- e. Awnings/canopies shall not be internally illuminated.
- f. Drive-thru facilities shall meet the following standards:
 - i. Facilities including associated windows, refuse storage, and menu and ordering boards shall be located to the rear or side of buildings;
 - ii. Digital menu and ordering board screens shall not be visible from public right of ways.
 - iii. Refuse storage shall be provided near windows associated with drive-through facilities;

- iv. Drive-thru canopies to the side of buildings shall be recessed a minimum of 5 feet from the front façade; and
- v. Drive-thru facilities to the side of buildings shall be limited to two lanes excluding one bypass lane.

14. Other Standards: The following standards are set out in Chapter 5: Landscape buffers; landscape screening; fences, walls and hedges; and plant materials.