

A. RPO – Rural Preservation/Open Space

1. Character Description – This district is designed to allow existing rural areas to conserve agricultural uses and protect natural areas. This district includes areas that are difficult to develop at higher densities because of the terrain or the distance to services. This district also includes existing designated open spaces.
2. Intent and Purpose
 - a. To implement the objectives of the Comprehensive Plan as concerns the RPO - Rural/Open Space 1/3 Unit per Acre land use.
 - b. To enable the conservation of rural and open space areas.
 - c. To enable the development of new agricultural areas.
3. Applicability – This zoning district is applicable to all real property designated as RPO on the City of Lebanon zoning atlas.
4. Land Uses

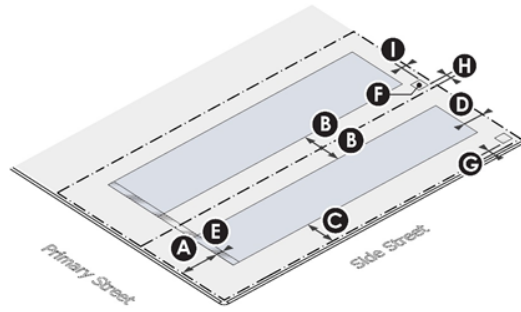
Permitted Uses	Conditional Uses	Prohibited Uses
Agricultural Services	Community Assembly	Any use not specifically allowed
Crop and Animal Raising (includes livestock and chickens)	Community Education	
	Cultural and Recreational Services	
Dwelling, Single-Family Detached	Intermediate Impact Facilities	
Plant and Forest Nurseries		
Uses envisioned in the South Hartmann Overlay		
Uses allowed in the Infill Overlay		

5. Lot Development Standards (RPO)

a. Lot size



b. Building placement



Lot dimensions	
A	Lot size (min) 130,680 sf
	Each dwelling 130,680 sf
B	Width at building/at property line (min) 150 ft/40 ft

Principal building setbacks	
A	Front setback (min) 40 ft
B	Side setback (min) 40 ft
C	Rear setback (min) 40 ft

Parking setback	
D	Attached garage setback from primary façade (min) 10 ft

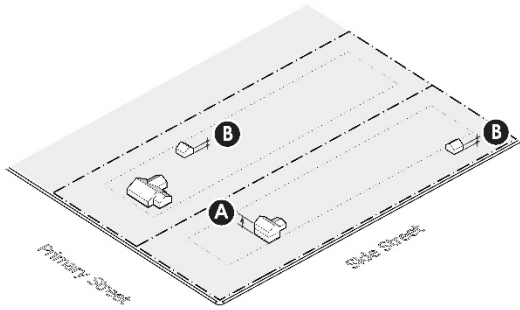
Accessory building	
E	Structure area, ADU* (max) 700 sf
	Structure area, other accessory buildings** (max) 4999 sf
	Front setback (min) 75 ft
F	Side setback, corner (min) 40 ft
G	Rear setback (min) 40 ft

*ADU = Accessory Dwelling Unit. Maximum one ADU per parcel.

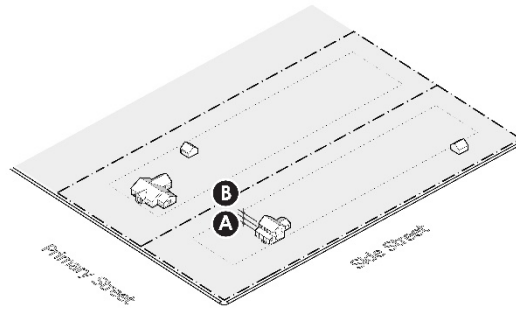
**Maximum for each non-ADU accessory building.

6. Building Development Standards (RPO)

a. Building height



b. Façade elements



Building height		
A	Primary building height, stories (max)	3
B	Accessory building height, stories (max)	2

Façade elements (non-residential)		
A	Ground floor façade area with windows (min)	n/a
B	Upper floor façade area with windows (min)	n/a

7. Sidewalk and Planting Standards

- a. There are no front yard landscaping requirements in this district.
- b. See Section 14-504 for permitted and prohibited plants.

8. Parking and Loading Standards: Standards for parking and loading/unloading for this district are set out in Chapter 5 of this Ordinance.

9. Other Standards: Chapter 5 sets out standards for landscape buffers; landscape screening; fences, walls and hedges; and plant materials.