

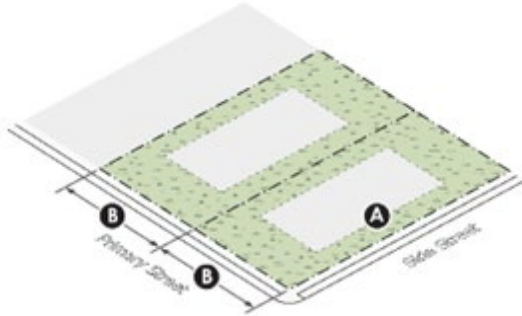
F. RD9 – Duplex Residential 9,000

1. Character Description – This district is designed to facilitate single-family and duplex development where sufficient urban services are available or where such services can be physically and economically extended. The district can be used for incremental densification of existing neighborhoods through construction of second units on existing parcels, or for new subdivisions that aspire to some diversity of the housing stock. This zoning district can be used in conjunction with Infill Overlay districts (see Chapter 4) that create additional housing development opportunities in existing neighborhoods. This district is intended also to permit community facilities and public utility installations that are necessary to serve the public.
2. Intent and Purpose
 - a. The purpose of this district is to facilitate housing development and/or preservation that allows for single-family housing and two-family housing.
 - b. To allow development of two-family dwellings in predominantly single-family neighborhoods.
3. Applicability – This zoning district is applicable to all real property designated as RD9 on the City of Lebanon zoning atlas.
4. Land Uses

Permitted Uses	Conditional Uses	Prohibited Uses
Dwelling, Single-Family Detached	Bed and breakfast homestay/Airbnb	Any use not specifically allowed
Dwelling, Two-Family Detached	Community Assembly	
	Community Education	
	Cultural and Recreational Services	

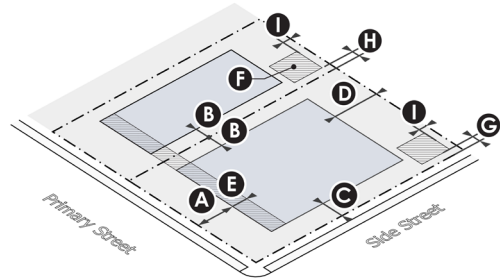
5. Lot Development Standards (RD9)

a. Lot size



Lot dimensions		
A	Lot size (min)	
	First dwelling	9,000 sf
	Additional dwelling	6,000 sf
B	Width at building/at property line (min)	60 ft/40 ft

b. Building placement



Principal building setbacks		
A	Front setback (min)	30 ft
B	Side setback (min)	
	Interior 1-2 stories (min)	10 ft
	Interior 3+ stories (min)	15 ft
C	Side setback corner (min)	15 ft
D	Rear setback (min)	30 ft

Parking setback		
E	Attached garage setback from primary façade (min)*	10 ft

*40 ft total setback from front property line.

Accessory building		
F	Structure area, ADU*	700 sf
	(max)	
	Structure area, other accessory buildings**	700 sf
	(max)	
	Front setback (min)	50 ft
G	Side setback, corner (min)	15 ft
H	Side setback, interior (min)	10 ft
I	Rear setback (min)	15 ft

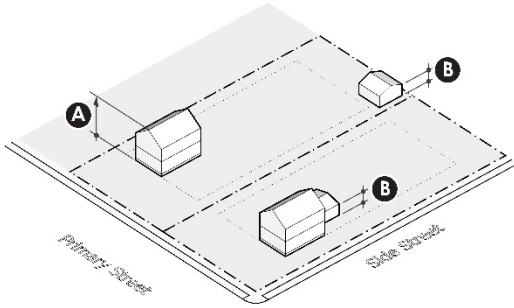
*ADU = Accessory Dwelling Unit. Maximum one ADU per parcel.

**Maximum for each non-ADU accessory building.

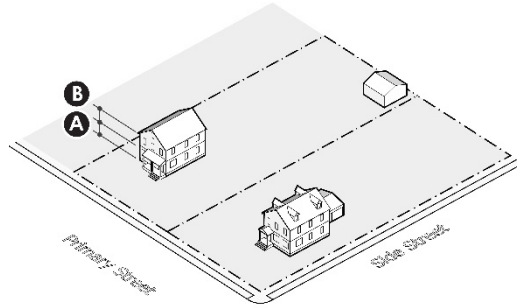
6. General Building Development Standards (RD9)

The standards in this section apply to all new development in this district except where otherwise in conflict by the standards for single-family, two-family, or multi-family developments subsequently listed.

a. Building height



b. Façade elements

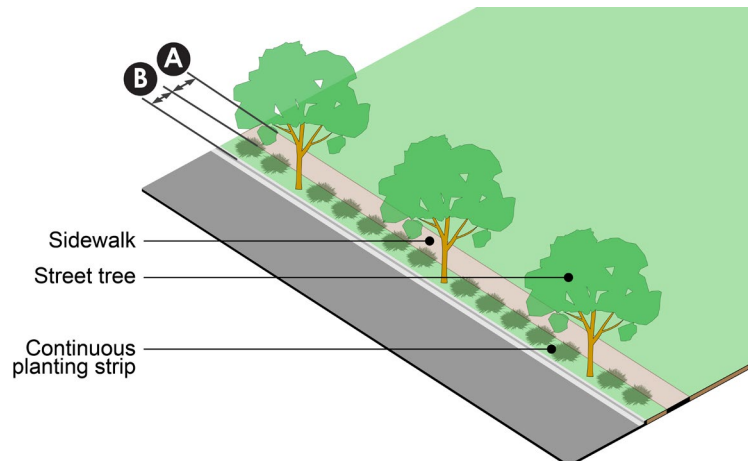


Building height	
A	Primary building height, stories (max) 3
B	Accessory building height, stories (max) 2

Façade elements (non-residential)	
A	Ground floor façade area with windows (min) 20%
B	Upper floor façade area with windows (min) 20%

7. Sidewalk and Planting Standards:

- See Section 14-504 for permitted and prohibited plants.
- The diagram below defines the sidewalk and planting standards in this zoning district. Minimum width sidewalk width ("A") is 5 ft. Minimum width of the planting strip ("B") is 5 ft. Street trees are planted in the planting strip. Modifications to this design may be approved by the Planning Department when the context warrants it.



8. Parking and Loading Standards: Standards for parking and loading/unloading for this district are set out in Chapter 5 of this Ordinance.
9. Front Yard Landscaping Standards:
 - a. A foundation planting along one hundred (100) percent of the façade of each building which abuts a public street, excluding necessary breaks for sidewalks, entrances, etc. The foundation planting area shall have a minimum depth of six (6) feet and shall include:
 - i. Two (2) Medium Evergreen Shrubs as specified in Table 14.504-11 for every forty (40) feet of building façade;
 - ii. Eight (8) Small Evergreen or Deciduous Shrubs (or a combination thereof) of at least two different species as specified in Table 14.504-11 for every thirty (30) feet of building façade. The shrub requirement may also be met with a combination of shrubs and ornamental grasses;
 - b. One Class II Shade Tree or two (2) Ornamental Trees as specified in Table 14.504-11 for every fifty (50) feet of road frontage.
10. Orientation: All principal buildings shall face and front a public street or, if an overlay allows it, a courtyard. At least one (1) principal pedestrian entrance is needed on the front façade. For the purposes of this standard, limited access highways shall not be considered a public street. No HVAC or other mechanical equipment shall be allowed between the building and the fronting street or courtyard.
11. Transition: Any portion of a building located within 75 ft. of adjacent single-family housing shall not exceed the actual height of those houses by more than 1.5 times
12. Building Materials
 - a. Primary Façade Materials
 - i. A minimum of 75% of the Primary Façades, exclusive of openings, shall include materials selected from List 2 in Table 14.507-2, namely: brick, stone, cast stone, stucco (authentic), wood siding/shingles/trim, fiber cement siding/shingles/trim, composite siding, or EIFS (2 feet above ground only).
 - ii. A maximum of 25% of the Primary Façades, exclusive of openings, may include materials selected from List 3 in Table 14.507-2, namely: brick, stone, cast stone, stucco (authentic), architectural metal panels, wood siding/shingles/trim, concrete (finished), fiber cement siding/shingles/trim, composite siding, or EIFS (2 feet above the finished floor elevation).
 - b. Secondary Façade Materials
 - i. A minimum of 50% of the Secondary Façades, exclusive of openings, shall include materials selected from List 2 in Table 14.507-2, namely: brick, stone, cast stone, stucco (authentic), wood siding/shingles/trim, fiber cement siding/shingles/trim, composite siding, or EIFS (2ft above the finished floor elevation).

- ii. A maximum of 50% of the Secondary Façades, exclusive of openings, may include materials selected from List 3 in Table 14.507-2, namely: brick, stone, cast stone, stucco (authentic), architectural metal panels, wood siding/shingles/trim, concrete (finished), fiber cement siding/shingles/trim, composite siding, or EIFS (2ft above the finished floor elevation).
 - c. The materials of outbuildings over 250 sq ft shall match the building material of the principal building.
13. Articulation: Buildings that contain non-residential uses shall comply with the following: Building façades that face a public street, private street, or usable open space (excluding Preserve type open spaces) shall not exceed thirty (30) feet in length without a building articulation intended to minimize the mass of the building. Permitted articulations include:
- a. Façade offset with a minimum depth of two (2) feet that extends to within two (2) feet of the full height of the façade.
 - b. Façade projection with a minimum depth of four (4) inches and a minimum width of one (1) foot that extends the full height of the first story of the façade.
 - c. Variation in building or parapet height of a minimum two (2) feet for single story buildings and four (4) feet for buildings with two or more stories.
 - d. The use of multiple roof forms to create the effect of different building components.
14. Pedestrian Entrances: Required pedestrian entrances shall be defined by a roof covering at least 3 ft deep or by being recessed by at least 3 ft.
15. Transparency: Non-residential building façades that face a public street, private street, or usable open space (excluding Preserve type open spaces) shall have a minimum transparency of 20% consisting of doors, windows, or a combination thereof. Window and door glazing shall not be heavily tinted to avoid obscuring visibility into the building.
16. Other Standards: The following standards are set out in Chapter 5: landscape buffers; landscape screening; fences, walls and hedges; and plant materials.

Single-Family and Two-family Standards

17. The following additional design standards will apply to single-family and two-family lots in these zoning districts. The standards in this section apply to lots established by being submitted on a preliminary plat, final plat that did not require a preliminary plat, or otherwise created after June 6, 2023.
- a. Orientation
 - All principal buildings must face and front a public or private street or if an overlay allows it a courtyard. At least one (1) principal pedestrian entrance is needed on the front façade.
 - b. Building Materials

i. Primary Façade Materials

1. A minimum of 75% of the Primary Façades, exclusive of openings, shall include materials selected from List 1 in Table 14.507-2b.
2. A maximum of 25% of the Primary Façades, exclusive of openings, may include materials selected from List 2 in Table 14.507-2b.

ii. Secondary Façade Materials

1. A minimum of 60% of the Secondary Façades, exclusive of openings, shall include materials selected from List 1 in Table 14.507-2b.
2. A maximum of 40% of the Secondary Façades, exclusive of openings, may include materials selected from List 2 in Table 14.507-2b.

iii. Rear Façade Materials

1. A minimum of 60% of the Rear Façades, exclusive of openings, shall include materials selected from List 1 in Table 14.507-2b.
2. A maximum of 40% of the Rear Façades, exclusive of openings, may include materials selected from List 3 in Table 14.507-2b..

c. Design Variation

Adjacent houses cannot be exactly the same in a row of houses. A distinct building design shall be achieved by including a minimum of three (3) of the following:

1. Variation in length of 20% or more.
2. Variation in height by 15%.
3. Variation in footprint size by 20% or more.
4. Variation in use of primary façade materials or color.
5. Variation in type of unit design that is expressed on exterior façades.
6. Variation in roof materials or color.
7. Variation in the location, width, or design of attachments such as porches, stoops, bay windows, and other attachments permitted by this section.

d. Parking/Garages

2. Required Parking - Each unit needs to provide at least two parking spaces which shall be achieved by any one or combination of the following:
 - i. Provide a driveway that is at least 35 feet long, from the back of sidewalk (or property line if no sidewalk is present or proposed), and at least 10 feet wide.
 - ii. Place the garage entrance on the side or rear of the building (corner and double loaded lots, excluding alley loaded, shall also meet option 1).
 - iii. Provide at least two parking spaces to the rear of the building.

- iv. Provide at least two dedicated off-site parking spaces within 300 ft of the subject property (measured by the shortest distance of sidewalk or paved trail).
2. Reserve Parking - Each unit needs to provide space for at least two additional parking spaces to be provided in the future on-site or built off-site upon development which shall be achieved by any one or combination of the following:
- i. Designate space where two additional parking spaces to the side or rear of the building can be added on-site.
 - ii. Provide at least two dedicated off-site parking spaces within 300 ft of the subject property (measured by length of the shortest sidewalk or paved trail).
3. Front loaded side setback- Any lot that provides vehicular access by way of the front property line shall provide side building setbacks of no less than 10 feet.

e. Entrances

- 1. Porches shall have a minimum clear depth of six (6) feet excluding steps. Porches shall not encroach into a public right-of-way.
- 2. Stoops shall have a minimum clear depth of three (3) feet excluding steps. Stoops shall not encroach into a public right-of-way.

f. Outbuildings

Outbuildings of over 250 sq. ft. shall match the building material of the main structure.

g. Landscaping

A foundation planting along one hundred (100) percent of the façade of each building which abuts a public street, excluding necessary breaks for sidewalks, entrances, etc.

The foundation planting area shall have a minimum depth of four (4) feet.

The foundation planting shall include:

- a. Two (2) Medium Evergreen Shrubs as specified in Section 14.504 for every forty (40) feet of building façade; and
- b. Eight (8) Small Evergreen or Deciduous Shrubs (or a combination thereof) of at least two different species as specified in Section 14.504 for every thirty (30) feet of building façade. The shrub requirement may also be met with a combination of shrubs and ornamental grasses.

Multi-family Development Standards (RD9)

18. The following additional design standards will apply to multi-family uses within the RD9 district which consist of two or more buildings totaling three or more residential units on a single parcel of land.

a. Orientation

Principal buildings shall be oriented so that at least one (1) principal pedestrian entrance faces a fronting street or fronting open space. For the purposes of this standard, limited access highways shall not be considered a fronting street.

b. Transition

Any portion of a building located within 75 ft. of property zoned RS20, RS12, RS9, or RS6 shall not exceed the actual height of the adjacent single-family zoned properties by more than 1.5 times.

c. Façades

a. Primary Façade Materials

- i. A minimum of 75% of the Primary Façades, exclusive of openings, shall include materials selected from List 2 in Table 14.507-2b.
- ii. A maximum of 25% of the Primary Façades may include materials selected from List 3 in Table 14.507-2b.

b. Secondary Façade Materials

- i. A minimum of 50% of the Secondary Façades shall include materials selected from List 2 in Table 14.507-2b.
- ii. A maximum of 50% of the Secondary Façades shall include materials selected from List 3 in Table 14.507-2b.

c. Design Variation

Developments with six or more buildings shall provide a variety of distinct building designs according to the number of buildings in the development as follows:

6 to 18 Buildings: Two (2) distinct designs

Greater than 18 Buildings: One (1) distinct design every six (6) buildings

A distinct building design shall be achieved by including a minimum of three (3) of the following:

1. Variation in length of 20% or more.
2. Variation in height by 15%.
3. Variation in footprint size by 20% or more.
4. Variation in use of primary façade materials or color.

5. Variation in type of unit design that is expressed on exterior façades.
6. Variation in roof materials or color.
7. Variation in the location, width, or design of attachments such as porches, stoops, bay windows, and other attachments permitted by this section.

d. Parking

- i. Individual unit parking, including garages, will be limited to the side or rear of the building except:
 - a. Parallel parking along the private drive is permitted subject to pedestrian circulation requirements.
 - i. If parking is provided:
 1. A planting strip of two (2) feet is required from the edge of curb to the sidewalk; or
 2. The sidewalk must be at least seven (7) feet wide.
 - b. Parking lots are permitted on the side and rear of buildings.
 - i. Parking lots cannot be visible from public street.
 - ii. No more than 10 spots will be allowed per row, without a dedicated nine (9) foot by eighteen (18) foot landscaped island with a Class 1 Shade Tree.

e. Openings

a. Pedestrian Entrances

Required pedestrian entrances shall be defined by a roof covering or by being recessed.

f. Attachments

- a. Porches shall have a minimum clear depth of six (6) feet excluding steps. Porches shall not encroach into a public right-of-way.
- b. Stoops shall have a minimum clear depth of three (3) feet excluding steps. Stoops shall not encroach into a public right-of-way.
- c. Balconies shall have a minimum clear depth of four (4) feet. Balconies shall not be fully enclosed.
- d. Bay windows shall have visible support, either by extending the bay to grade with a foundation or transferring the projection back to the wall with beams, brackets, or masonry corbeling.
- e. Decks shall be located to the rear or side of buildings.