

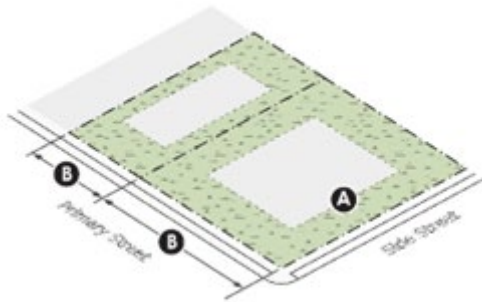
H. RM6 – Multifamily Residential 6,000

1. Character Description – This district is designed to provide suitable areas for multifamily housing, including townhomes and multifamily apartment complexes. This district also permits community facilities and utilities that serve the public.
2. Intent and Purpose
 - a. To implement the objectives of the Comprehensive Plan as concerns the FLH16 - Residential 16 Units per Acre land use.
 - b. To enable the conservation of existing multifamily housing areas.
 - c. To enable the development of new multifamily housing where sufficient urban services can be made available.
3. Applicability – This zoning district is applicable to all real property designated as RM6 on the City of Lebanon zoning atlas.
4. Land Uses

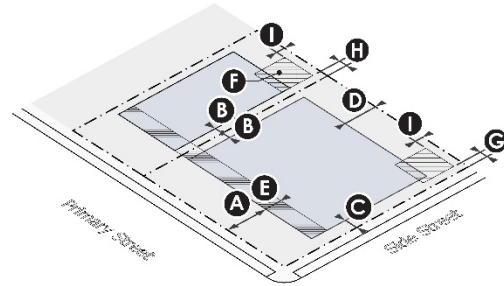
Permitted Uses	Conditional Uses	Prohibited Uses
Dwelling, Single-Family Detached	Bed and breakfast homestay/Airbnb	Any use not specifically allowed
Dwelling, Two-Family Detached	Community Assembly	
Dwelling, Townhome	Community Education	
Dwelling, Residential Court	Cultural and Recreational Services	
Dwelling, Multifamily	Intermediate Impact Facilities	
Essential Services	Public Services	
Uses envisioned in the South Hartmann Overlay		
Uses allowed in the Infill Overlay		

5. Lot Development Standards (RM6)

a. Lot size



b. Building placement



Lot dimensions	
A	Lot size (min)
	First dwelling
	Additional dwelling
B	Width at building/at property line (min) ^a
C	Lot depth (min) ^b

Principal building setbacks	
A	Front setback (min) ^c
B	Side setback (min) ^d
	Interior 1-2 stories (min) ^e
	Interior 3+ stories (min)
C	Side setback corner (min)
D	Rear setback (min)

Parking setback	
E	Attached garage setback from primary façade* (min)

*35 ft minimum total setback from front property line.

Accessory building*	
F	Structure area (max)
	Front setback (min)
G	Side setback, corner (min)
H	Side setback, interior (min)
I	Rear setback (min)

*Excludes Accessory Dwelling Units

Notes:

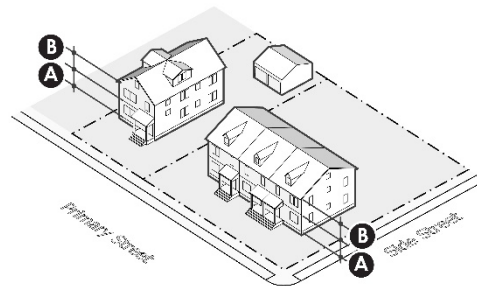
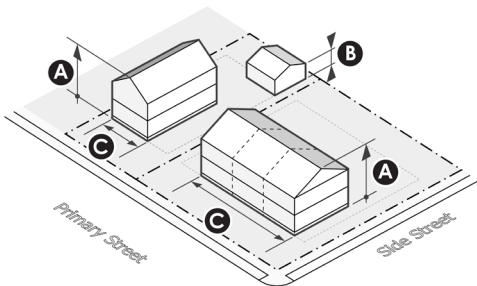
- (a) 18 ft minimum lot width for Dwelling, Townhome use.
- (b) 75 ft minimum lot depth for Dwelling, Townhome use.
- (c) 15 ft minimum setback, if parking provided at the side or rear of principal building.
- (d) No side setback is required for Dwelling, Townhome use.
- (e) For 1- to 2-story buildings that are not Townhomes, if vehicle parking is in front of the principal building, then the setback on at least one side must be 10 feet to accommodate a parking spot next to the principal building. If the property has alley access, then side setbacks of 5 feet are sufficient.

6. General Building Development Standards (RM6)

The standards in this section apply to all new development in this district except where otherwise in conflict by the standards for single-family, two-family, multi-family, townhouse, or residential court developments subsequently listed.

a. Building height and frontage

b. Façade elements



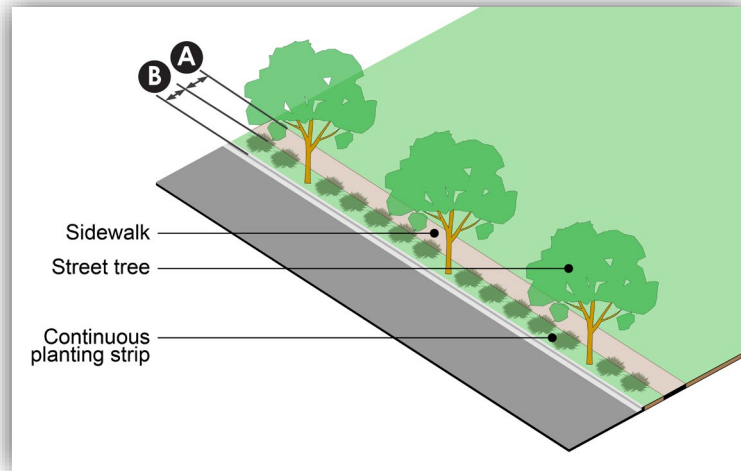
Building height and frontage	
A	Primary building height, stories (max) 3
A	Primary building height, feet (max) 45
B	Accessory building height, stories (max) 2
C	Building frontage, feet (max) 100

Façade elements (non-residential)	
A	Ground floor façade area with windows (min) 20%
B	Upper floor façade area with windows (min) 20%

7. Parking and Loading Standards: Standards for parking and loading/unloading for this district are set out in Chapter 5 (Development Standards) and Chapter 9 (Off-Street Parking) of this Ordinance.

8. Sidewalk and Planting Standards:

- a. See Section 14-504 for permitted and prohibited plants.
- b. The diagram below defines the sidewalk and planting standards in this zoning district. Minimum width sidewalk width ("A") is 6 feet. Minimum width of the planting strip ("B") is 6 feet. Street trees are planted in the planting strip. Modifications to this design may be approved by the Planning Department when the context warrants it.



9. Front Yard Landscaping Standards for all residential development:

- a. A foundation planting long one hundred (100) percent of the façade of each building which abuts a public street, excluding necessary breaks for sidewalks, entrances, etc. The foundation planting area shall have a minimum depth of six (6) feet and shall include:
 - i. Two (2) Medium Evergreen Shrubs as specified in Table 14.504-11 for every forty (40) feet of building façade;
 - ii. Eight (8) Small Evergreen or Deciduous Shrubs (or a combination thereof) of at least two different species as specified in Table 14.504-11 for every thirty (30) feet of building façade. The shrub requirement may also be met with a combination of shrubs and ornamental grasses;
- b. One Class II Shade Tree or two (2) Ornamental Trees as specified in Table 14.504-11 for every fifty (50) feet of building façade.

10. Building Design Standards

- a. Frontage: All lots shall abut a public or private street for at least forty (40) feet, except that individual townhomes units in a larger building may have a frontage as narrow as eighteen (18) feet. No parking garages shall face the primary public street. Parking garage entrances shall be permitted on the primary public street where rear/side access to the lot is not available.
 - i. Transition: Any portion of a building located within 75 ft. of adjacent single-

family housing shall not exceed the actual height of those houses by more than 1.5 times.

b. Primary Façade Materials

- i. A minimum of 75% of the Primary Façades, exclusive of openings, shall include materials selected from List 2 in Table 14.507-2, namely: brick, stone, cast stone, stucco (authentic), wood siding/shingles/trim, fiber cement siding/shingles/trim, composite siding, or EIFS (2ft above the finished floor elevation).
- ii. A maximum of 25% of the Primary Façades may include materials selected from List 3 in Table 14.507-2 namely: brick, stone, cast stone, stucco (authentic), architectural metal panels, wood siding/shingles/trim, concrete (finished), fiber cement siding/shingles/trim, composite siding, or EIFS (2ft above the finished floor elevation).

c. Secondary Façade Materials

- i. A minimum of 50% of the Secondary Façades shall include materials selected from List 2 in Table 14.507-2, namely: brick, stone, cast stone, stucco (authentic), wood siding/shingles/trim, fiber cement siding/shingles/trim, composite siding, or EIFS (2ft above the finished floor elevation).
- ii. A maximum of 50% of the Secondary Façades shall include materials selected from List 3 in Table 14.507-2 namely: brick, stone, cast stone, stucco (authentic), architectural metal panels, wood siding/shingles/trim, concrete (finished), fiber cement siding/shingles/trim, composite siding, or EIFS (2ft above the finished floor elevation).

d. Building materials of outbuildings of over 250 sq ft in area shall match the building material of the principal building.

11. Other Standards: The following standards are set out in Chapter 5: landscape buffers; landscape screening; fences, walls and hedges; and plant materials.

Single-Family and Two-family Standards

12. The following additional design standards will apply to single-family and two-family lots in these zoning districts. The standards in this section apply to lots established by being submitted on a preliminary plat, final plat that did not require a preliminary plat, or otherwise created after June 6, 2023.

a. Orientation

All principal buildings must face and front a public or private street or if an overlay allows it, a courtyard. At least one (1) principal pedestrian entrance is needed on the front façade.

b. Building Materials

i. Primary Façade Materials

1. A minimum of 75% of the Primary Façades, exclusive of openings, shall

include materials selected from List 1 in Table 14.507-2b.

2. A maximum of 25% of the Primary Façades, exclusive of openings, may include materials selected from List 2 in Table 14.507-2b.

ii. Secondary Façade Materials

1. A minimum of 60% of the Secondary Façades, exclusive of openings, shall include materials selected from List 1 in Table 14.507-2b.

2. A maximum of 40% of the Secondary Façades, exclusive of openings, may include materials selected from List 2 in Table 14.507-2b.

iii. Rear Façade Materials

1. A minimum of 60% of the Rear Façades, exclusive of openings, shall include materials selected from List 1 in Table 14.507-2b.

2. A maximum of 40% of the Rear Façades, exclusive of openings, may include materials selected from List 3 in Table 14.507-2b.

c. Design Variation

Adjacent houses cannot be exactly the same in a row of houses. A distinct building design shall be achieved by including a minimum of three (3) of the following:

1. Variation in length of 20% or more.
2. Variation in height by 15%.
3. Variation in footprint size by 20% or more.
4. Variation in use of primary façade materials or color.
5. Variation in type of unit design that is expressed on exterior façades.
6. Variation in roof materials or color.
7. Variation in the location, width, or design of attachments such as porches, stoops, bay windows, and other attachments permitted by this section.

d. Parking/Garages

1. Required Parking - Each unit needs to provide at least two parking spaces which shall be achieved by any one or combination of the following:

Provide a driveway that is at least 35 feet long, from the back of sidewalk (or property line if no sidewalk is present or proposed), and at least 10 feet wide.

Place the garage entrance on the side or rear of the building (corner and double loaded lots, excluding alley loaded, shall also meet option 1).

Provide at least two parking spaces to the rear of the building.

Provide at least two dedicated off-site parking spaces within 300 feet of the subject property (measured by the shortest distance of sidewalk or paved trail).

2. Reserve Parking - Each unit needs to provide space for at least two additional parking spaces to be provided in the future on-site or built off-site upon development which shall be achieved by any one or combination of the following:
 - I. Designate space where two additional parking spaces to the side or rear of the building can be added on-site.
 - II. Provide at least two dedicated off-site parking spaces within 300 feet of the subject property (measured by length of the shortest sidewalk or paved trail).
3. Front loaded side setback- Any lot that provides vehicular access by way of the front property line shall provide side building setbacks of no less than 10 feet.

e. Entrances

1. Porches shall have a minimum clear depth of six (6) feet excluding steps. Porches shall not encroach into a public right-of-way.
2. Stoops shall have a minimum clear depth of three (3) feet excluding steps. Stoops shall not encroach into a public right-of-way.

f. Outbuildings

Outbuildings of over 250 sq. ft. shall match the building material of the main structure.

g. Landscaping

A foundation planting along one hundred (100) percent of the façade of each building which abuts a public street, excluding necessary breaks for sidewalks, entrances, etc.

The foundation planting area shall have a minimum depth of four (4) feet.

The foundation planting shall include:

- a. Two (2) Medium Evergreen Shrubs as specified in Section 14.504 for every forty (40) feet of building façade; and
- b. Eight (8) Small Evergreen or Deciduous Shrubs (or a combination thereof) of at least two different species as specified in Section 14.504 for every thirty (30) feet of building façade. The shrub requirement may also be met with a combination of shrubs and ornamental grasses.

Multi-family Development Standards

13. The following additional design standards will apply to multi-family developments containing three or more units (excluding townhouses and residential courts) in these zoning districts.

a. Orientation

- a. Principal buildings shall be oriented to one of the following frontage features:

- i. Public street (for the purposes of this standard, limited access highways shall not be considered a fronting street).
- ii. Private street (built to public street standards, including landscaping and sidewalks).
- iii. Usable Open Space Type (as further described in 14.505 Open Space).
 - 1. Square
 - 2. Green
 - 3. Greenway (existing or proposed on an adopted plan, i.e. Comprehensive Plan or Parks Master Plan.)

b. Principal buildings shall be oriented in the following ways:

- i. At least one (1) principal pedestrian entrance faces the fronting feature.
 - 1. A principal pedestrian entrance must be covered or recessed a minimum of 3 feet and connect directly into units or a shared lobby.
- ii. At least 50% of first-floor units in a building face the fronting feature.
 - 1. A lesser percentage may be considered on the basis of a shared lobby on the front façade.
- iii. Primary buildings shall prioritize fronting features in the order of public street, private street, useable open space until the buildable frontage along each feature has been exhausted by any combination of primary buildings on the site.
 - 1. A frontage shall be considered exhausted when less than the minimum lot width at the building line for that site in that zoning district is achieved.
 - a. The Planning Director, or their designee, may consider a frontage width greater than this length exhausted on the basis of existing topography, streams, existing development patterns, or improved access for the public to useable open spaces, public buildings, public parks, or transit stations.
- iv. The fronting feature shall extend the entire length of the front façade plus five (5) feet on each side.

b. Building Height Transition

- a. Any portion of a proposed building located within 75 ft. of an existing building or buildings containing a residential use shall transition the height of the proposed building from that of the existing buildings. This transition will be regulated as follows:
 - i. The location and height of all existing residential buildings within 75 feet of a proposed building shall be shown on the site plan.

- ii. All existing residential buildings will be assigned a height of 15 feet unless specific measurements are provided by the applicant.
- iii. The height transition shall not exceed a rate of 1 foot of additional building height per every 3 feet of building separation.

c. Façades

a. Primary Façade Materials

- i. A minimum of 75% of the Primary Façades, exclusive of openings, shall include materials selected from List 2 in Table 14.507.2b.
- ii. A maximum of 25% of the Primary Façades may include materials selected from List 3 in Table 14.507.2b.

b. Secondary Façade Materials

- i. A minimum of 50% of the Secondary Façades shall include materials selected from List 2 in Table 14.507.2b.
- ii. A maximum of 50% of the Secondary Façades shall include materials selected from List 3 in Table 14.507.2b.

c. Design Variation in Multi-family Developments

- i. Developments with multiple buildings shall incorporate a variety of distinct building features and designs according to the number of buildings in the development as follows:
 - a. Each building shall vary a minimum of one (1) design feature (options listed below) from that of each adjacent building within 75 feet.
 - b. When developments exceed 5 buildings, a number of distinct building designs are also needed as follows:
 - 6 to 18 Buildings: Two (2) distinct designs
 - Greater than 18 Buildings: One (1) distinct design every six (6) buildings
 - c. A distinct building design shall be achieved by varying a minimum of three (3) of design features (options listed below):
 - d. Design features that can be varied.
 - 1. Variation in length of 20% or more;
 - 2. Variation in height by 15%;
 - 3. Variation in footprint size by 20% or more;
 - 4. Variation in use of primary façade materials or color;
 - 5. Variation in type of unit design that is expressed on exterior façades;
 - 6. Variation in roof materials or color; or

7. Variation in the location, width, or design of attachments such as porches, stoops, bay windows, and other attachments permitted by this section.

d. Articulation

Buildings that contain more than 2 units shall comply with the following:

Building façades that face a public street, private street, private drive, or usable open space shall not exceed forty (40) feet in length without a building articulation intended to minimize the mass of the building. Permitted articulations include:

- i. Façade offset with a minimum depth of four (4) feet that extends the full height of the façade.
- ii. Façade projection with a minimum depth of four (4) inches and a minimum width of one (1) foot that extends the full height of the first story of the façade.
- iii. Variation in building or parapet height of a minimum two (2) feet for single story buildings and four (4) feet for buildings with two or more stories.
- iv. The use of multiple roof forms to create the effect of different building components.
- v. Porches and stoops that meet the standards for Attachments in this section.

e. Parking

a. Attached/structured parking garages

- i. Garages within the same building as residential units shall not be visible from the fronting feature for that building and should be accessed via a secondary street or parking lot to the side or rear of the building.

b. Detached parking garages

- i. Garages serving residential units shall not be visible from the fronting feature for that building and meet the requirements of an accessory building (14.503.A. Accessory Buildings)

c. Surface Parking

- i. Surface parking will be limited to the side or rear of the building except for parallel parking along a fronting street.
- ii. Surface parking, except parallel parking along a fronting street, shall not be visible from the fronting feature for that building.
 1. No more than 10 spots will be allowed per row, without a dedicated nine (9) foot by eighteen (18) foot landscaped island with a Class 1 Shade Tree.

f. Openings

a. Transparency

Building façades (buildings that contain more than 2 units) that face a public street, private street, or usable open space shall have a minimum transparency of 20% consisting of doors, windows, or a combination thereof. Window and door glazing shall not be heavily tinted to avoid obscuring visibility into the building.

b. Garage Openings

Garage doors that face a public or private street shall be limited to a maximum of ten (10) feet.

g. Roofs

- a. Sloped roofs that face a public street, private street, or usable open space shall be symmetrical.
- b. Flat roofs shall have parapet walls on façades that face or are visible from a public street, private street, or open space. The primary material used on parapets shall match the material of its associated façade.
- c. Roof-mounted equipment shall be located or screened in a manner to not be visible from a public street, private street, or usable open space.

h. Attachments

When attachments are provided, they shall meet the following minimum requirements:

- a. Porches shall have a minimum clear depth of six (6) feet excluding steps. Porches shall not encroach into a public right-of-way.
- b. Stoops shall have a minimum clear depth of three (3) feet excluding steps. Stoops shall not encroach into a public right-of-way.
- c. Balconies shall have a minimum clear depth of six (6) feet. Balconies shall not be fully enclosed.
- d. Bay windows shall have visible support, either by extending the bay to grade with a foundation or transferring the projection back to the wall with beams, brackets, or masonry corbeling.
- e. Decks shall be located to the rear of buildings.

Townhouse Development Standards

14. The following additional design standards will apply to townhouse uses in these zoning districts.

a. Orientation

a. Principal buildings shall be oriented to one of the following frontage features:

- i. Public street (for the purposes of this standard, limited access highways shall not be considered a fronting street).

- ii. Private street (built to public street standards, including landscaping and sidewalks.)
- b. Principal buildings shall be oriented in the following ways:
- i. All units shall have a principal pedestrian entrance that faces the fronting feature.
 - 1. For townhome buildings, a principal pedestrian entrance must be covered or recessed a minimum of 3 feet and connect directly into units.
 - ii. Primary buildings shall prioritize fronting features in the order of public street then private street until the buildable frontage along each feature has been exhausted by any combination of primary buildings on the site.
 - 1. A frontage shall be considered exhausted when less than the minimum lot width at the building line for that site in that zoning district is achieved.
 - a. The Planning Director, or their designee, may consider a frontage width greater than this length exhausted on the basis of existing topography, streams, existing development patterns, or improved access for the public to useable open spaces, public buildings, public parks, or transit stations.
 - iii. The fronting feature shall extend the entire length of the front façade plus five (5) feet on each side.
 - iv. All end unit side façades that also face a street (public or private) or useable open space shall address this feature as well with an additional primary pedestrian entrance or approved attachment.
- b. Building Height Transition
- a. Any portion of a proposed building located within 75 feet of an existing building or buildings containing a residential use shall transition the height of the proposed building from that of the existing buildings. This transition will be regulated as follows:
 - i. The location and height of all existing residential buildings within 75 feet of a proposed building shall be shown on the site plan.
 - ii. All existing residential buildings will be assigned a height of 15 feet unless specific measurements are provided by the applicant.
 - iii. The height transition shall not exceed a rate of 1 foot of additional building height per every 3 feet of building separation.

c. Façades

a. Primary Façade Materials

- i. A minimum of 75% of the Primary Façades, exclusive of openings, shall include materials selected from List 2 in Table 14.507.2b.
- ii. A maximum of 25% of the Primary Façades may include materials selected from List 3 in Table 14.507.2b.

b. Secondary Façade Materials

- i. A minimum of 50% of the Secondary Façades shall include materials selected from List 2 in Table 14.507.2b.
- ii. A maximum of 50% of the Secondary Façades shall include materials selected from List 3 in Table 14.507.2b.

c. Design Variation in Townhouse Developments

Developments with Townhouse uses shall incorporate a variety of distinct unit and building designs according to the number of townhouse units and buildings in the development as follows:

- a. Each unit shall vary a minimum of one (1) design feature (options listed below) from that of each attached adjacent unit.
- b. When buildings exceed a certain number of units two (2) distinct unit designs are also needed as follows:

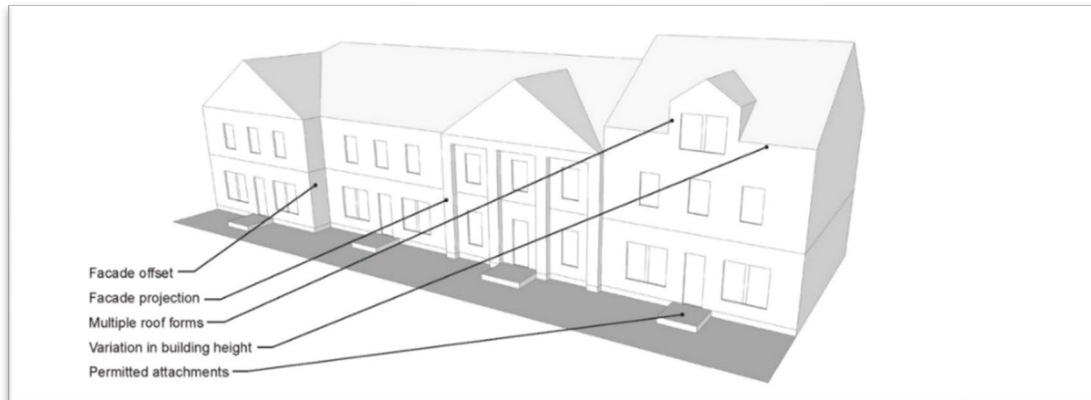
Front-loaded Garage Product: Every four (4) units per building.

All Other Products: Every six (6) units per building.

- c. A distinct unit design shall be achieved by varying a minimum of three (3) of design features (options listed below):
- d. Each townhouse building along the same street face shall utilize these design features (options listed below) to differentiate the appearance of adjacent buildings.
- e. Design features that can be varied.
 1. Variation in length of 20% or more;
 2. Variation in height by 15%;
 3. Variation in footprint size by 20% or more;
 4. Variation in use of primary façade materials or color;
 5. Variation in type of unit design that is expressed on exterior façades;

6. Variation in roof form, materials, or color; or
7. Variation in the location, width, or design of attachments such as porches, stoops, bay windows, and other attachments permitted by this section.

14.303.H Façade Articulation



d. Building Length

Buildings that contain Townhouse uses shall be limited to a maximum number of units per building based on fronting feature as follows:

- i. Public street: a maximum of four (4) attached units in a row.
- ii. Private street: a maximum of four (8) attached units in a row.

e. Parking

a. Front loaded garages (public street)

- i. A garage shall be considered front loaded when it is accessed from the same side as the fronting public street for that building.
- ii. Garages shall be a maximum of ten (10) feet wide.
- iii. Units shall be a minimum of forty (40) feet in width.
- iv. No more than 50% of the façade shall be used for a garage.
- v. Front-loaded garages shall be recessed a minimum of ten (10) feet behind the forward most building façade.

b. Front loaded garages (private street)

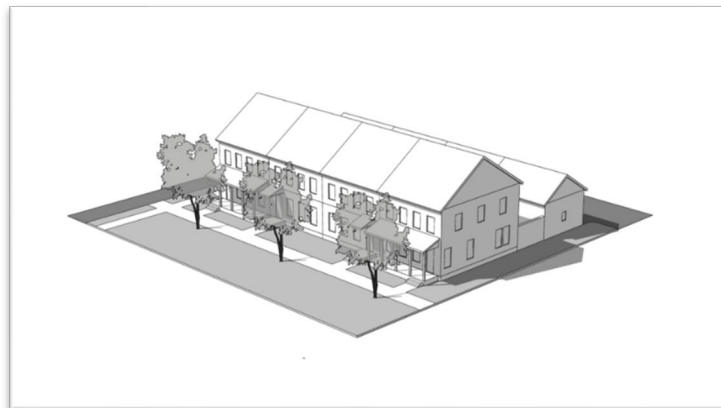
- i. A garage shall be considered front loaded when it is accessed from the same side as the fronting private street for that building.
- ii. No more than 33% of the units per development may contain a garage on the front façade.
- iii. Garages cannot be visible from a public right-of-way.

- iv. Buildings with front loaded garages shall be limited to four (4) attached units in a row.
- v. The garage opening will be limited to 40% of the unit width.
- vi. Each unit will be required to have at least three approved attachments.
- vii. Front-loaded garages shall be recessed a minimum of ten (10) feet behind the forward most building façade.



c. Rear loaded garages

- i. A garage shall be considered rear loaded when it is accessed from the opposite side as the fronting street for that unit.
- ii. Garages shall be accessed from an alley or drive, not exceeding 22 feet wide in pavement width, or a shared parking lot.
- iii. Garage buildings shall be separated from the primary structure at least 10 feet.
- iv. Garage buildings not clearly built to serve a particular unit shall not be visible from the fronting feature for that building and meet the requirements of an accessory building. (14.503.A. Accessory Buildings)



d. Surface Parking

- i. Surface parking will be limited to the side or rear of the building except for parallel parking along a fronting street.
- ii. Surface parking, except parallel parking along a fronting street, shall not be visible from the fronting feature for that building.
- iii. No more than 10 spots will be allowed per row, without a dedicated nine (9) foot by eighteen (18) foot landscaped island with a Class 1 Shade Tree.

f. Openings

a. Transparency

Building façades that face a public street, private street, or usable open space shall have a minimum transparency of 20% consisting of doors, windows, or a combination thereof. Window and door glazing shall not be heavily tinted to avoid obscuring visibility into the building.

b. Garage Openings

Garage doors that face a public or private street shall be limited to a maximum of ten (10) feet.

g. Roofs

- a. Sloped roofs that face a public street, private street, or usable open space shall be symmetrical.
- b. Flat roofs shall have parapet walls on façades that face or are visible from a public street, private street, or usable open space. The primary material used on parapets shall match the material of its associated façade.
- c. Roof-mounted equipment shall be located or screened in a manner to not be visible from a public street, private street, or usable open space.

h. Attachments

When attachments are provided, they shall meet the following minimum requirements:

- a. Porches shall have a minimum clear depth of six (6) feet excluding steps. Porches shall not encroach into a public right-of-way.
- b. Stoops shall have a minimum clear depth of three (3) feet excluding steps. Stoops shall not encroach into a public right-of-way.
- c. Balconies shall have a minimum clear depth of six (6) feet. Balconies shall not be fully enclosed.
- d. Bay windows shall have visible support, either by extending the bay to grade with a foundation or transferring the projection back to the wall with beams, brackets, or masonry corbeling.

- e. Decks shall be located to the rear of buildings.
- i. Private Open Space
 - Each townhouse unit shall be provided with a minimum amount of private open space that is for the express use of that unit:
 - a. A private rear yard with a minimum depth of 10 feet and a width not less than 66% of the unit's width.
 - i. A minimum of 50% of this yard must be grassed, garden or otherwise landscaped in with vegetation.
 - ii. A fence or wall shall be provided to delineate this private space.
 - b. When the rear of a townhouse unit is directly adjacent to a townhouse courtyard or useable open space type either of the following may be used instead of a private yard.
 - i. A minimum of 150 sq ft deck that does not extend into a courtyard, useable open space, or within 10 feet of any other principal building.
 - ii. A usable rooftop area equal to a minimum of 25% of the unit's building footprint.

Residential Court Development Standards

15. The following additional design standards will apply to residential court uses (townhouse court or cottage court) in these zoning districts.

- a. Supplemental Bulk Requirements

In addition to the minimum bulk requirements of these districts the following must be achieved for a residential court:

- i. Lot Area: 20,000. sf min.
- ii. Lot Width: 100 ft. min.
- iii. Low Depth: 150 ft. min.
- iv. Units per lot: Townhouse Court -12 max, Cottage Court - 8 max
- v. Building Height: 2 stories / 35 feet

- b. Residential Courtyard

Residential Courtyards must meet the following standards:

- i. Courtyards shall have buildings on 2 or 3 sides.
- ii. Maintain a minimum width of 20ft wide (may include sidewalks)
- iii. Setback all buildings a minimum of 5ft from the courtyard.
- iv. Setback all parking and driveways a minimum of 10ft from the courtyard.
- v. Unoccupiable stormwater features shall not be located in the courtyard.

c. Orientation

a. Principal buildings shall be oriented to one of the following frontage features:

- i. Public street (for the purposes of this standard, limited access highways shall not be considered a fronting street)
- ii. Private street (built to public street standards, including landscaping and sidewalks)
- iii. Courtyard

b. Principal buildings shall be oriented in the following ways:

- i. All units shall have a principal pedestrian entrance that faces a fronting feature.
 1. A principal pedestrian entrance must be covered or recessed a minimum of 3 feet and connect directly into units.
 2. All units facing a street (public or private) shall provide a principal pedestrian entrance facing the street that is roughly centered on the façade (within the middle third of that façade's width).
 3. All units that face a street (public or private) shall also address the courtyard with a primary pedestrian entrance or approved attachment.

d. Building Height Transition

Any portion of a proposed building located within 75 feet of an existing building or buildings containing a residential use shall transition the height of the proposed building from that of the existing buildings. This transition will be regulated as follows:

- i. The location and height of all existing residential buildings within 75 feet of a proposed building shall be shown on the site plan.
- ii. All existing residential buildings will be assigned a height of 15 feet unless specific measurements are provided by the applicant.
- iii. The height transition shall not exceed a rate of 1 foot of additional building height per every 3 feet of building separation.

e. Façades

a. Primary Façade Materials

- i. A minimum of 75% of the Primary Façades, exclusive of openings, shall include materials selected from List 2 in Table 14.507-2 (townhouse) or List 1 in Table 14.507-2b (cottage).

- ii. A maximum of 25% of the Primary Façades may include materials selected from List 3 in Table 14.507-2 (townhouse) or List 2 in Table 14.507-2b (cottage).
- b. Secondary Façade Materials
 - i. A minimum of 50% of the Secondary Façades shall include materials selected from List 2 in Table 14.507-2 (townhouse) or List 1 in Table 14.507-2b (cottage).
 - ii. A maximum of 50% of the Secondary Façades shall include materials selected from List 3 in Table 14.808-1 (townhouse) or List 2 in Table 14.507-2b (cottage).
- c. Design Variation in Residential Courts

Developments with Residential Court uses shall incorporate a variety of distinct unit designs according to the number of units in the development as follows;

 - a. Each unit shall vary a minimum of one (1) design feature (options listed below) from that of each adjacent unit within 25 feet.
 - b. When developments exceed six (6) units two (2) distinct unit designs are also needed as follows;
 - c. A distinct unit design shall be achieved by varying a minimum of three (3) of design features (options listed below):
 - d. Design features that can be varied.
 - 1. Variation in length of 20% or more;
 - 2. Variation in height by 15%;
 - 3. Variation in footprint size by 20% or more;
 - 4. Variation in use of primary façade materials or color;
 - 5. Variation in type of unit design that is expressed on exterior façades;
 - 6. Variation in roof form, materials, or color; or
 - 7. Variation in the location, width, or design of attachments such as porches, stoops, bay windows, and other attachments permitted by this section.
- f. Building Length

Townhouse court buildings shall have a maximum of four (4) attached units in a row.
- g. Parking
 - a. Garages
 - i. Garages shall not be visible from the fronting street or courtyard and if detached meet the requirements of an accessory building (14.503.A.

Accessory Buildings)

- ii. Garages shall be accessed from an alley or drive, not exceeding 22 feet wide in pavement width, or a shared parking lot.

b. Surface Parking

- i. Surface parking shall be a minimum of 10 feet behind the street facing façade of principal building(s).
- ii. No more than 10 spots will be allowed per row, without a dedicated nine (9) foot by eighteen (18) foot landscaped island with a Class 1 Shade Tree.

h. Openings

Transparency

Townhouse building façades that face a public street, private street, or courtyard space shall have a minimum transparency of 20% consisting of doors, windows, or a combination thereof. Window and door glazing shall not be heavily tinted to avoid obscuring visibility into the building.

i. Roofs

- a. Sloped roofs that face a public street, private street, or usable open space shall be symmetrical.
- b. Flat roofs shall have parapet walls on façades that face or are visible from a public street, private street, or usable open space. The primary material used on parapets shall match the material of its associated façade.
- c. Roof-mounted equipment shall be located or screened in a manner to not be visible from a public street, private street, or usable open space.

j. Attachments

When attachments are provided, they shall meet the following minimum requirements:

- a. Porches shall have a minimum clear depth of six (6) feet excluding steps. Porches shall not encroach into a public right-of-way.
- b. Stoops shall have a minimum clear depth of three (3) feet excluding steps. Stoops shall not encroach into a public right-of-way.
- c. Balconies shall have a minimum clear depth of six (6) feet. Balconies shall not be fully enclosed.
- d. Bay windows shall have visible support, either by extending the bay to grade with a foundation or transferring the projection back to the wall with beams, brackets, or masonry corbeling.
- e. Decks shall be located to the rear of buildings.

k. Private Open Space

- a. Each residential court unit shall be provided with a minimum amount of private open space that is for the express use of that unit in the form of one of the

following:

- i. A private rear yard with a minimum depth of 10 feet and a width not less than 66% of the unit's width
 - ii. A minimum of 50% of this yard must be grassed, garden or otherwise landscaped in with vegetation.
 - ii. A fence or wall shall be provided to delineate this private space.
- b. A usable rooftop area equal to a minimum of 25% of the unit's building footprint.