

I. RMH – Mobile Home Park Residential

1. Character Description – This district is designed to provide suitable areas for mobile home park housing, and other residential housing types including townhomes and subdivisions. This district also permits community facilities and utilities that serve the public.
2. Intent and Purpose
 - a. To implement the objectives of the Comprehensive Plan as concerns the FLH16 - Residential 16 Units per Acre land use.
 - b. To enable the conservation of existing mobile home park housing areas.
 - c. To enable the development of new residential housing types where mobile home parks currently exist, and sufficient urban services can be made available.
3. Applicability – This zoning district is applicable to all real property designated as RMH on the City of Lebanon zoning atlas.
4. Land Uses

Permitted Uses	Conditional Uses	Prohibited Uses
Dwelling, Single-Family Detached	Bed and breakfast homestay/Airbnb	Any use not specifically allowed
Dwelling, Two-Family Detached	Community Assembly	
Dwelling, Dorm, Fraternity/Sorority, Boarding	Community Education	
Dwelling, Townhome	Cultural and Recreational Services	
Dwelling, Residential Court	Intermediate Impact Facilities	
Dwelling, Mobile Home Park	Public Services	
Essential Services		
Uses envisioned in the South Hartmann Overlay		
Uses allowed in the Infill Overlay		

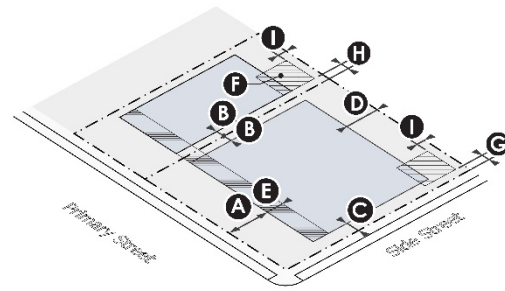
5. Lot Development Standards (RMH)

a. Lot size



Lot dimensions	
A	Lot size (min)
	First dwelling
	Additional dwelling
B	Lot width (min) ^a
C	Lot depth (min) ^b

b. Building placement



Principal building setbacks		
A	Front setback (min) ^c	15 ft
B	Side setback (min) ^d	
	Interior 1-2 stories (min) ^e	5 ft
	Interior 3+ stories (min)	10 ft
C	Side setback corner (min)	8 ft
D	Rear setback (min)	20 ft
Parking setback		
E	Attached garage setback from primary façade* (min)	10 ft

*35 ft minimum total setback from front property line.

Accessory building*		
F	Structure area (max)	700 sf
	Front setback (min)	25 ft
G	Side setback, corner (min)	8 ft
H	Side setback, interior (min)	5 ft
I	Rear setback (min)	10 ft

*Excludes Accessory Dwelling Units

Notes:

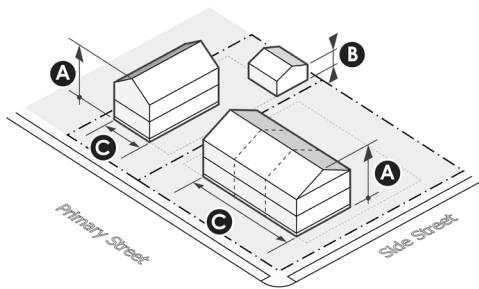
- (a) 18 ft minimum lot width for Dwelling, Townhome use.
- (b) 75 ft minimum lot depth for Dwelling, Townhome use.
- (c) 15 ft minimum setback, if parking provided at the side or rear of principal building.
- (d) No side setback is required for Dwelling, Townhome use.

(e) For 1- to 2-story buildings that are not Townhomes, if vehicle parking is in front of the principal building, then the setback on at least one side must be 10 feet to accommodate a parking spot next to the principal building. If the property has alley access, then side setbacks of 5 feet are sufficient.

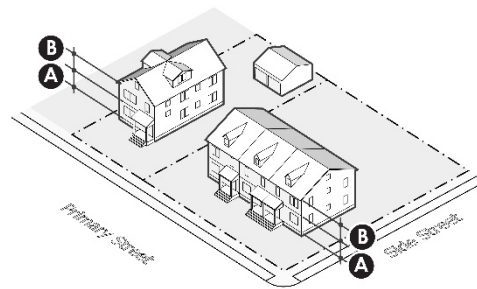
6. General Building Development Standards (RMH)

The standards in this section apply to all new development in this district except where otherwise in conflict by the standards for single-family, two-family, townhouse, residential court, or mobile home parks subsequently listed.

a. Building height and frontage



b. Façade elements



Building height and frontage		
A	Primary building height, stories (max)	3
A	Primary building height, feet (max)	45
B	Accessory building height, stories (max)	2
C	Building frontage, feet (max)	100

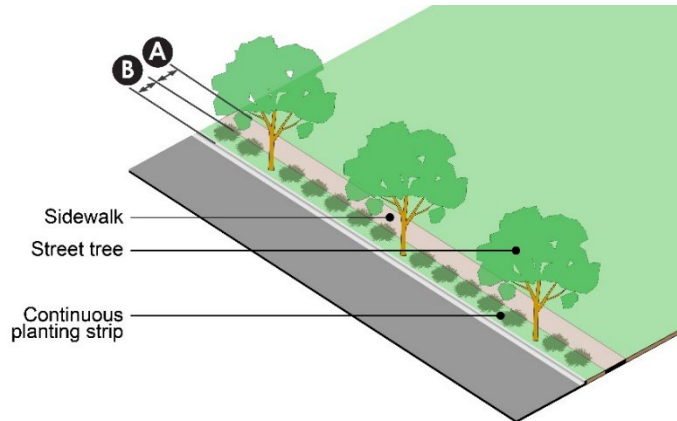
Façade elements (non-residential)		
A	Ground floor façade area with windows (min)	20%
B	Upper floor façade area with windows (min)	20%

7. Parking and Loading Standards: Standards for parking and loading/unloading for this district are set out in Chapter 5 (Design Standards) of this Ordinance.

8. Sidewalk and Planting Standards:

a. See Section 14-504 for permitted and prohibited plants.

b. The diagram below defines the sidewalk and planting standards in this zoning district. Minimum width sidewalk width (“A”) is 6 feet. Minimum width of the planting strip (“B”) is 6 feet. Street trees are planted in the planting strip. Modifications to this design may be approved by the Planning Department when the context warrants it.



9. Front Yard Landscaping Standards for all residential development:

- a. A foundation planting long one hundred (100) percent of the façade of each building which abuts a public street, excluding necessary breaks for sidewalks, entrances, etc. The foundation planting area shall have a minimum depth of six (6) feet and shall include:
 - i. Two (2) Medium Evergreen Shrubs as specified in Table 14.504-11 for every forty (40) feet of building façade;
 - ii. Eight (8) Small Evergreen or Deciduous Shrubs (or a combination thereof) of at least two different species as specified in Table 14.504-11 for every thirty (30) feet of building façade. The shrub requirement may also be met with a combination of shrubs and ornamental grasses;
- b. One Class II Shade Tree or two (2) Ornamental Trees as specified in Table 14.504-11 for every fifty (50) feet of building façade.

Single-Family and Two-family Standards

10. The following additional design standards will apply to single-family and two-family lots in these zoning districts.

a. Orientation

All principal buildings must face and front a public or private street or if an overlay allows it a courtyard. At least one (1) principal pedestrian entrance is needed on the front façade.

b. Building Materials

i. Primary Façade Materials

- 1. A minimum of 75% of the Primary Façades, exclusive of openings, shall include materials selected from List 1 in Table 14.507-2b.
- 2. A maximum of 25% of the Primary Façades, exclusive of openings, may include materials selected from List 2 in Table 14.507-2b.

ii. Secondary Façade Materials

- 1. A minimum of 60% of the Secondary Façades, exclusive of openings,

shall include materials selected from List 1 in Table 14.507-2b.

2. A maximum of 40% of the Secondary Façades, exclusive of openings, may include materials selected from List 2 in Table 14.507-2b.

iii. Rear Façade Materials

1. A minimum of 60% of the Rear Façades, exclusive of openings, shall include materials selected from List 1 in Table 14.507-2b.

2. A maximum of 40% of the Rear Façades, exclusive of openings, may include materials selected from List 3 in Table 14.507-2b.

c. Design Variation

Adjacent houses cannot be exactly the same in a row of houses. A distinct building design shall be achieved by including a minimum of three (3) of the following:

1. Variation in length of 20% or more.
2. Variation in height by 15%.
3. Variation in footprint size by 20% or more.
4. Variation in use of primary façade materials or color.
5. Variation in type of unit design that is expressed on exterior façades.
6. Variation in roof materials or color.
7. Variation in the location, width, or design of attachments such as porches, stoops, bay windows, and other attachments permitted by this section.

d. Parking/Garages

1. Required Parking - Each unit needs to provide at least two parking spaces which shall be achieved by any one or combination of the following:
 - i. Provide a driveway that is at least 35 feet long, from the back of sidewalk (or property line if no sidewalk is present or proposed), and at least 10 feet wide.
 - ii. Place the garage entrance on the side or rear of the building (corner and double loaded lots, excluding alley loaded, shall also meet option 1).
 - iii. Provide at least two parking spaces to the rear of the building.
 - iv. Provide at least two dedicated off-site parking spaces within 300 feet of the subject property (measured by the shortest distance of sidewalk or paved trail).
2. Reserve Parking - Each unit needs to provide space for at least two additional parking spaces to be provided in the future on-site or built off-site upon development which shall be achieved by any one or combination of the following:

- i. Designate space where two additional parking spaces to the side or rear of the building can be added on-site.
 - ii. Provide at least two dedicated off-site parking spaces within 300 feet of the subject property (measured by length of the shortest sidewalk or paved trail).
 - 3. Front loaded side setback- Any lot that provides vehicular access by way of the front property line shall provide side building setbacks of no less than 10 feet.
- e. Entrances
 - 1. Porches shall have a minimum clear depth of six (6) feet excluding steps. Porches shall not encroach into a public right-of-way.
 - 2. Stoops shall have a minimum clear depth of three (3) feet excluding steps. Stoops shall not encroach into a public right-of-way.
- f. Outbuildings

Outbuildings of over 250 sq. ft. shall match the building material of the main structure
- g. Landscaping

A foundation planting along one hundred (100) percent of the façade of each building which abuts a public street, excluding necessary breaks for sidewalks, entrances, etc.

The foundation planting area shall have a minimum depth of four (4) feet.

The foundation planting shall include:

 - a. Two (2) Medium Evergreen Shrubs as specified in Section 14.504 for every forty (40) feet of building façade; and
 - b. Eight (8) Small Evergreen or Deciduous Shrubs (or a combination thereof) of at least two different species as specified in Section 14.504 for every thirty (30) feet of building façade. The shrub requirement may also be met with a combination of shrubs and ornamental grasses.

Townhouse Development Standards

11. The following additional design standards will apply to townhouse uses in these zoning districts.
- a. Orientation
 - a. Principal buildings shall be oriented to one of the following frontage features:
 - i. Public street (for the purposes of this standard, limited access highways shall not be considered a fronting street).
 - ii. Private street (built to public street standards, including landscaping and sidewalks).
 - b. Principal buildings shall be oriented in the following ways:

- i. All units shall have a principal pedestrian entrance that faces the fronting feature.
 - 1. For townhome buildings, a principal pedestrian entrance must be covered or recessed a minimum of 3 feet and connect directly into units.
- ii. Primary buildings shall prioritize fronting features in the order of public street then private street until the buildable frontage along each feature has been exhausted by any combination of primary buildings on the site.
 - 1. A frontage shall be considered exhausted when less than the minimum lot width at the building line for that site in that zoning district is achieved.
 - a. The Planning Director, or their designee, may consider a frontage width greater than this length exhausted on the basis of existing topography, streams, existing development patterns, or improved access for the public to useable open spaces, public buildings, public parks, or transit stations.
- iii. The fronting feature shall extend the entire length of the front façade plus five (5) feet on each side.
- iv. All end unit side façades that also face a street (public or private) or useable open space shall address this feature as well with an additional primary pedestrian entrance or approved attachment.

b. Building Height Transition

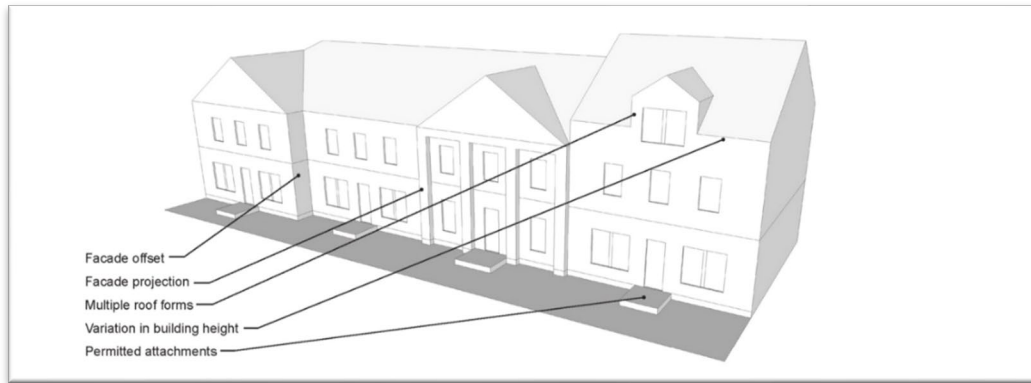
- a. Any portion of a proposed building located within 75 feet of an existing building or buildings containing a residential use shall transition the height of the proposed building from that of the existing buildings. This transition will be regulated as follows:
 - b.
 - i. The location and height of all existing residential buildings within 75 feet of a proposed building shall be shown on the site plan.
 - ii. All existing residential buildings will be assigned a height of 15 feet unless specific measurements are provided by the applicant.
 - iii. The height transition shall not exceed a rate of 1 foot of additional building height per every 3 feet of building separation.

c. Façades

- a. Primary Façade Materials

- i. A minimum of 75% of the Primary Façades, exclusive of openings, shall include materials selected from List 2 in Table 14.507.2.
 - ii. A maximum of 25% of the Primary Façades may include materials selected from List 3 in Table 14.507.2.
- b. Secondary Façade Materials
 - i. A minimum of 50% of the Secondary Façades shall include materials selected from List 2 in Table 14.507.2.
 - ii. A maximum of 50% of the Secondary Façades shall include materials selected from List 3 in Table 14.507.2.
- c. Design Variation in Townhouse Developments
 - Developments with Townhouse uses shall incorporate a variety of distinct unit and building designs according to the number of townhouse units and buildings in the development as follows
 - a. Each unit shall vary a minimum of one (1) design feature (options listed below) from that of each attached adjacent unit.
 - b. When buildings exceed a certain number of units two (2) distinct unit designs are also needed as follows;
 - Front-loaded Garage Product: Every four (4) units per building
 - All Other Products: Every six (6) units per building
 - c. A distinct unit design shall be achieved by varying a minimum of three (3) of design features (options listed below):
 - d. Each townhouse building along the same street face shall utilize these design features (options listed below) to differentiate the appearance of adjacent buildings.
 - e. Design features that can be varied.
 - 1. Variation in length of 20% or more;
 - 2. Variation in height by 15%;
 - 3. Variation in footprint size by 20% or more;
 - 4. Variation in use of primary façade materials or color;
 - 5. Variation in type of unit design that is expressed on exterior façades;
 - 6. Variation in roof form, materials, or color; or
 - 7. Variation in the location, width, or design of attachments such as porches, stoops, bay windows, and other attachments permitted by this section.

14.303.I Façade Articulation



d. Building Length

Buildings that contain Townhouse uses shall be limited to a maximum number of units per building based on fronting feature as follows:

- i. Public street: a maximum of four (4) attached units in a row.
- ii. Private street: a maximum of four (8) attached units in a row.

e. Parking

a. Front loaded garages (public street)

- i. A garage shall be considered front loaded when it is accessed from the same side as the fronting public street for that building.
- ii. Garages shall be a maximum of ten (10) feet wide
- iii. Units shall be a minimum of forty (40) feet in width.
- iv. No more than 50% of the façade shall be used for a garage.
- v. Front-loaded garages shall be recessed a minimum of ten (10) feet behind the forward most building façade.

b. Front loaded garages (private street)

- i. A garage shall be considered front loaded when it is accessed from the same side as the fronting private street for that building.
- ii. No more than 33% of the units per development may contain a garage on the front façade.
- iii. Garages cannot be visible from a public right-of-way.
- iv. Buildings with front loaded garages shall be limited to four (4) attached units in a row.
- v. The garage opening will be limited to 40% of the unit width.
- vi. Each unit will be required to have at least three approved attachments.
- vii. Front-loaded garages shall be recessed a minimum of ten (10) feet behind the forward most building façade.



c. Rear loaded garages

- i. A garage shall be considered rear loaded when it is accessed from the opposite side as the fronting street for that unit.
- ii. Garages shall be accessed from an alley or drive, not exceeding 22 feet wide in pavement width, or a shared parking lot.
- iii. Garage buildings shall be separated from the primary structure at least 10 feet.
- iv. Garage buildings not clearly built to serve a particular unit shall not be visible from the fronting feature for that building and meet the requirements of an accessory building (14.503.A. Accessory Buildings)



d. Surface Parking

- i. Surface parking will be limited to the side or rear of the building except for parallel parking along a fronting street.
- ii. Surface parking, except parallel parking along a fronting street, shall not

be visible from the fronting feature for that building.

- iii. No more than 10 spots will be allowed per row, without a dedicated nine (9) foot by eighteen (18) foot landscaped island with a Class 1 Shade Tree.

f. Openings

a. Transparency

Building façades that face a public street, private street, or usable open space shall have a minimum transparency of 20% consisting of doors, windows, or a combination thereof. Window and door glazing shall not be heavily tinted to avoid obscuring visibility into the building.

b. Garage Openings

Garage doors that face a public or private street shall be limited to a maximum of ten (10) feet.

g. Roofs

- a. Sloped roofs that face a public street, private street, or usable open space shall be symmetrical.

- b. Flat roofs shall have parapet walls on façades that face or are visible from a public street, private street, or usable open space. The primary material used on parapets shall match the material of its associated façade.

- c. Roof-mounted equipment shall be located or screened in a manner to not be visible from a public street, private street, or usable open space.

h. Attachments

When attachments are provided, they shall meet the following minimum requirements:

- a. Porches shall have a minimum clear depth of six (6) feet excluding steps. Porches shall not encroach into a public right-of-way.

- b. Stoops shall have a minimum clear depth of three (3) feet excluding steps. Stoops shall not encroach into a public right-of-way.

- c. Balconies shall have a minimum clear depth of six (6) feet. Balconies shall not be fully enclosed.

- d. Bay windows shall have visible support, either by extending the bay to grade with a foundation or transferring the projection back to the wall with beams, brackets, or masonry corbeling.

- e. Decks shall be located to the rear of buildings.

i. Private Open Space

Each townhouse unit shall be provided with a minimum amount of private open space that is for the express use of that unit:

- a. A private rear yard with a minimum depth of 10 feet and a width not less than 66% of the unit's width.
 - i. A minimum of 50% of this yard must be grassed, garden or otherwise landscaped in with vegetation.
 - ii. A fence or wall shall be provided to delineate this private space.
- b. When the rear of a townhouse unit is directly adjacent to a townhouse courtyard or useable open space type either of the following may be used instead of a private yard.
 - i. A minimum of 150 sq ft deck that does not extend into a courtyard, useable open space, or within 10 feet of any other principal building.
 - ii. A usable rooftop area equal to a minimum of 25% of the unit's building footprint.

Residential Court Development Standards

12. The following additional design standards will apply to residential court uses (townhouse court or cottage court) in these zoning districts.

a. Supplemental Bulk Requirements

In addition to the minimum bulk requirements of these districts the following must be achieved for a residential court:

- i. Lot Area: 20,000. sf min.
- ii. Lot Width: 100 ft. min.
- iii. Low Depth: 150 ft. min.
- iv. Units per lot: Townhouse Court -12 max, Cottage Court - 8 max
- v. Building Height: 2 stories / 35 feet

b. Residential Courtyard

Residential Courtyards must meet the following standards:

- i. Courtyards shall have buildings on 2 or 3 sides.
- ii. Maintain a minimum width of 20 feet wide (may include sidewalks)
- iii. Setback all buildings a minimum of 5 feet from the courtyard.
- iv. Setback all parking and driveways a minimum of 10 feet from the courtyard.
- v. Unoccupiable stormwater features shall not be located in the courtyard.

c. Orientation

- a. Principal buildings shall be oriented to one of the following frontage features:
 - i. Public street (for the purposes of this standard, limited access highways shall not be considered a fronting street).
 - ii. Private street (built to public street standards, including landscaping and sidewalks).

iii. Courtyard.

b. Principal buildings shall be oriented in the following ways:

i. All units shall have a principal pedestrian entrance that faces a fronting feature.

1. A principal pedestrian entrance must be covered or recessed a minimum of 3 feet and connect directly into units.
2. All units facing a street (public or private) shall provide a principal pedestrian entrance facing the street that is roughly centered on the façade (within the middle third of that façade's width).
3. All units that face a street (public or private) shall also address the courtyard with a primary pedestrian entrance or approved attachment.

d. Building Height Transition

Any portion of a proposed building located within 75 ft. of an existing building or buildings containing a residential use shall transition the height of the proposed building from that of the existing buildings. This transition will be regulated as follows:

- i. The location and height of all existing residential buildings within 75 feet of a proposed building shall be shown on the site plan.
- ii. All existing residential buildings will be assigned a height of 15 feet unless specific measurements are provided by the applicant.
- iii. The height transition shall not exceed a rate of 1 foot of additional building height per every 3 feet of building separation.

e. Façades

a. Primary Façade Materials

- i. A minimum of 75% of the Primary Façades, exclusive of openings, shall include materials selected from List 2 in Table 14.507-2 (townhouse) or List 1 in Table 14.507-2b (cottage).
- ii. A maximum of 25% of the Primary Façades may include materials selected from List 3 in Table 14.507-2 (townhouse) or List 2 in Table 14.507-2b (cottage).

b. Secondary Façade Materials

- i. A minimum of 50% of the Secondary Façades shall include materials selected from List 2 in Table 14.507-2 (townhouse) or List 1 in Table 14.507-2b (cottage).
- ii. A maximum of 50% of the Secondary Façades shall include materials selected from List 3 in Table 14.507-2 (townhouse) or List 2 in Table 14.507-2b (cottage).

c. Design Variation in Residential Courts

Developments with Residential Court uses shall incorporate a variety of distinct unit designs according to the number of units in the development as follows:

- a. Each unit shall vary a minimum of one (1) design feature (options listed below) from that of each adjacent unit within 25 feet.
- b. When developments exceed six (6) units two (2) distinct unit designs are also needed as follows;
- c. A distinct unit design shall be achieved by varying a minimum of three (3) of design features (options listed below):
- d. Design features that can be varied.
 1. Variation in length of 20% or more;
 2. Variation in height by 15%;
 3. Variation in footprint size by 20% or more;
 4. Variation in use of primary façade materials or color;
 5. Variation in type of unit design that is expressed on exterior façades;
 6. Variation in roof form, materials, or color; or
 7. Variation in the location, width, or design of attachments such as porches, stoops, bay windows, and other attachments permitted by this section.

f. Building Length

Townhouse court buildings shall have a maximum of four (4) attached units in a row.

g. Parking

a. Garages

- i. Garages shall not be visible from the fronting street or courtyard and if detached meet the requirements of an accessory building (14.503.A. Accessory Buildings)
- ii. Garages shall be accessed from an alley or drive, not exceeding 22 feet wide in pavement width, or a shared parking lot.

b. Surface Parking

- i. Surface parking shall be a minimum of 10 feet behind the street facing façade of principal building(s).
- ii. No more than 10 spots will be allowed per row, without a dedicated nine (9) foot by eighteen (18) foot landscaped island with a Class 1 Shade Tree.

h. Openings

Transparency

Townhouse building façades that face a public street, private street, or courtyard space shall have a minimum transparency of 20% consisting of doors, windows, or a combination thereof. Window and door glazing shall not be heavily tinted to avoid obscuring visibility into the building.

i. Roofs

- a. Sloped roofs that face a public street, private street, or usable open space shall be symmetrical.
- b. Flat roofs shall have parapet walls on façades that face or are visible from a public street, private street, or usable open space. The primary material used on parapets shall match the material of its associated façade.
- c. Roof-mounted equipment shall be located or screened in a manner to not be visible from a public street, private street, or usable open space.

j. Attachments

When attachments are provided, they shall meet the following minimum requirements:

- a. Porches shall have a minimum clear depth of six (6) feet excluding steps. Porches shall not encroach into a public right-of-way.
- b. Stoops shall have a minimum clear depth of three (3) feet excluding steps. Stoops shall not encroach into a public right-of-way.
- c. Balconies shall have a minimum clear depth of six (6) feet. Balconies shall not be fully enclosed.
- d. Bay windows shall have visible support, either by extending the bay to grade with a foundation or transferring the projection back to the wall with beams, brackets, or masonry corbeling.
- e. Decks shall be located to the rear of buildings.

k. Private Open Space

Each residential court unit shall be provided with a minimum amount of private open space that is for the express use of that unit in the form of one of the following:

- a. A private rear yard with a minimum depth of 10 feet and a width not less than 66% of the unit's width.
 - i. A minimum of 50% of this yard must be grassed, garden or otherwise landscaped in with vegetation.
 - iii. A fence or wall shall be provided to delineate this private space.
- b. A usable rooftop area equal to a minimum of 25% of the unit's building footprint.

Development Standards for a Mobile Home Parks

13. The following standards and requirements shall apply to all mobile home parks developed in this district.

Permit

Application for Permits: The construction or extension of a mobile home community may not commence within the area of jurisdiction of this ordinance until a building permit has been issued by the Chief Building Official. A building permit may be issued for a mobile home community only in the required zoning district and with the approval by the Lebanon Planning Commission of the site plan.

Where conditions are attached by the Lebanon Planning Commission they shall be included as part of the Certificate of Occupancy.

Site Plan Required: A building permit may only be issued for the construction or extension of a mobile home community upon submission and approval by the Lebanon Planning Commission of a site development plan meeting the minimum requirements.

Development Standards

General

No part of the community shall be used for nonresidential purposes, except the uses as are required for the direct servicing and well-being of community residents and for the management and maintenance of the facilities. Nothing contained in this section shall be deemed as prohibiting the sale of a mobile home located on a mobile home stand and connected to the pertinent utilities.

Conditions of soil, drainage, and topography shall not create hazards to the property or the health or safety of the occupants. The site shall not be exposed to objectionable smoke, dust, noise, odors, or other adverse influences, and no portion subject to flooding or erosion shall be used for any purpose which would expose persons or property to hazards.

Minimum Development Size: No mobile home community shall be approved which contains less than three (3) acres in area or has less than fifteen (15) mobile home spaces.

Density: The number of mobile homes permitted within any mobile home park shall not exceed seven (7) units per acre. Along the entire periphery of a mobile home park, yards shall be provided as follows:

Front: 40 feet

Side: 30 feet

Rear: 40 feet

Yards: Along the entire periphery of a mobile home community, yards meeting the district regulations shall be provided. Within the interior portions of a mobile home community, no yards, except as required to meet other provisions set forth in this section, are required.

The Mobile Home Space

General: The limits of each mobile home space shall be marked on the ground by suitable means. Location of lot limits on the ground shall be the same as shown on approved plans. No space shall be smaller than five thousand (5,000) square feet.

Mobile Home Stands: The mobile home stands shall be improved to provide adequate

support for the placement and tie-down of the mobile home. The stand shall not heave, shift, or settle unevenly under the weight of the mobile home due to frost action, inadequate drainage, vibration, wind, or other forces acting on the structure. In addition, the stand shall comply with the FHA minimum requirements. Permanent foundations shall meet the requirements of the HUD publication Permanent Foundations for Manufactured Housing, September 1996, and any subsequent amendments.

Outdoor Living Area: Each mobile home lot shall be provided with an outdoor living and service area. The area should be improved as necessary to assure reasonable privacy and comfort. The minimum area should be not less than three hundred (300) square feet.

Spacing of Mobile Homes and Site Coverage

Mobile homes shall be so harbored on each space that there shall be at least a twenty-five (25) feet clearance between mobile homes; for mobile homes parked end-to-end, the end-to-end clearance shall not be less than fifteen (15) feet.

There shall be a minimum distance of ten (10) feet between the nearest edge of any mobile home and an abutting street within the park.

Mobile home stands shall not occupy an area in excess of twenty-five (25) percent of the respective lot area. The total area occupied by the mobile home and its accessory structures shall not exceed fifty (50) percent of the respective space area.

Utilities and Other Services

Water Supply and Distribution System: An accessible, adequate, safe, and potable supply of water shall be provided in each mobile home community on trunk lines not less than six (6) inches. Where a public supply of water of satisfactory quantity, quality, and pressure is available at the site or at the boundary of the site, connection shall be made thereto and its supply used exclusively.

Sewage Disposal: Each mobile home community shall be served by public sewer, with service provided each trailer site.

Solid Waste Disposal System: Solid waste collection stands shall be provided for waste containers for each mobile home. The stands shall be so designed as to prevent containers from being tipped, to minimize spillage and container deterioration, and to facilitate cleaning around them. Any central waste container shall be screened from view with access appropriately provided.

Service Buildings: Service buildings housing sanitation and laundry facilities shall be permanent structures complying with all applicable ordinances and statutes, regulations, buildings, electrical installations, and plumbing and sanitation systems.

Fire Protection: Each mobile home park shall be equipped with fire hydrants spaced no more than five hundred (500) feet apart; no mobile home shall be farther than three hundred (300) feet from a fire hydrant. The water system shall be capable of providing a required fire flow of five hundred (500) gallons per minute for one (1) hour duration.

Insect and Rodent Control: Each mobile home park shall be maintained free of litter and accumulation of any kind of debris that may provide rodent harborage or breeding places for flies, mosquitoes, or other pests.

Streets

General: All mobile home developments shall be provided with safe and convenient vehicular access from abutting public streets or roads to each mobile home lot. The access shall be provided by streets, driveways, or other means. All internal streets shall be private.

Entrance Streets: Entrances to mobile home developments shall have direct connections to a public street and shall be designed to allow free movement of traffic on the adjacent public streets. No parking shall be permitted on the entrance street for a distance of one hundred (100) feet from its point of beginning.

Circulation: The street system should provide convenient circulation by means of minor streets and properly located collector streets. Dead-end streets shall be limited in length to five hundred (500) feet and their closed end shall be provided with an adequate turnaround (ninety (90) feet diameter cul-de-sac).

Pavement Widths: Pavement widths shall be as follows:

Collector Street with no parking:	20 feet
Collector Street with on-street parking:	36 feet
Minor Street with no parking:	20 feet
Minor Street with on-street parking:	34 feet
One-way minor street with no parking:	12 feet
One-way minor street with on-street parking:	28 feet

Construction

Subgrade: The subgrade shall be well-drained, uniformly graded, and compacted.

Base: The base shall consist of crushed stone or gravel, six (6) inches in depth, compacted.

Surface: The surface shall be paved with asphaltic concrete plant mix, one and one-half (1 1/2) inches thick, compacted.

Walks

General Requirement: All mobile home park developments shall be provided with safe, convenient, all-season pedestrian walks a minimum of five (5) feet in width, durable and convenient to maintain. Sudden changes in alignment and gradient shall be avoided. A common walk system shall be provided and maintained between locations where pedestrian traffic is concentrated. The common walks shall have a minimum width of five (5) feet.

Individual Walks: All mobile home spaces shall be connected to common walks, streets, driveways, and parking spaces by individual walks. The individual walks shall have a minimum width of two (2) feet.

Recreation Area

Adequate recreation facilities for the residents of the community shall be provided in locations easily accessible to the living units and where they do not impair the view and

privacy of living units. Well-equipped playgrounds of adequate size and number shall be provided where it is anticipated that children will occupy the premises.

Site Design

The appearance and character of the site shall be preserved and enhanced by retaining and protecting existing trees and other site features; and additional new plant material shall be added for privacy, shade, beauty of buildings and grounds, and to screen out objectionable features. A landscape plan shall be submitted with the site development plan.

Existing trees, shrubs, evergreens, and ground cover shall be retained to the extent that they enhance the project, are effective as a screen planting, or are useful in protecting slopes.

Parking

Parking shall be provided in accordance with off-street parking requirements in Chapter 14.512, Off-Street Parking and Loading Requirements.

Off-Street Parking: Off-street parking spaces shall be located on each mobile home space.

Replacement of Mobile Homes

In any mobile home community, when a mobile home is relocated to a different pad within the development or is moved out of the community for any reason, it may be replaced only with another mobile home which has been certified under the National Housing Construction and Safety Standards Act of 1974 (42 U.S.C. Section 5401, et seq.). Prior to any such replacement, the owner/operator of the mobile home community shall first obtain a building permit. After the replacement mobile home has been moved into the community and connected to all utilities but prior to any occupancy, the mobile home shall be inspected to determine its compliance with the above standard and the adopted NFPA 101 Life Safety Code. Existing mobile homes in a mobile home park or on an individual lot may be replaced by another mobile home only if the new mobile home is less than five (5) years old when it is placed on the property.