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# SOUTH HARTMANN GATEWAY

## FORM-BASED CODE OVERLAY



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## A. GENERAL PROVISIONS

### 1. Purpose

The purpose of this section is to implement the South Hartmann Gateway Planning Study.

### 2. Intent

It is the intent of this section to:

Acknowledge that the South Hartmann Gateway Plan establishes a Land Use Map with distinct character areas including Walkable Urban areas and Auto-dependent Suburban Areas, described in 4. Regulating Plan, which form the organizing basis for the application design standards; and

Establish design standards to ensure new development or redevelopment in this overlay district is consistent with the South Hartmann Gateway Planning Study.

### 3. Territorial Applicability

This section applies to all property designated on the map in Figure A-1.

## 4. Regulating Plan

### a. Walkable Urban Sub-districts (WU-)

Walkable Urban areas are development areas with a mixture of uses and housing types that are designed in a manner to encourage pedestrian activity and de-emphasize the automobile. The design of these areas features a compact layout, interconnected street network, and civic space. The following Walkable Urban Sub-districts are established and illustrated in Figure A-2 and are part of the Official Zoning Map:

- Town Center - Mixed-use/Non-residential (WU-TCMx)
- Town Center-Residential (WU-TCR)
- Mixed Housing (WU-MxH)
- Single-family Attached and Detached (WU-SFAD)

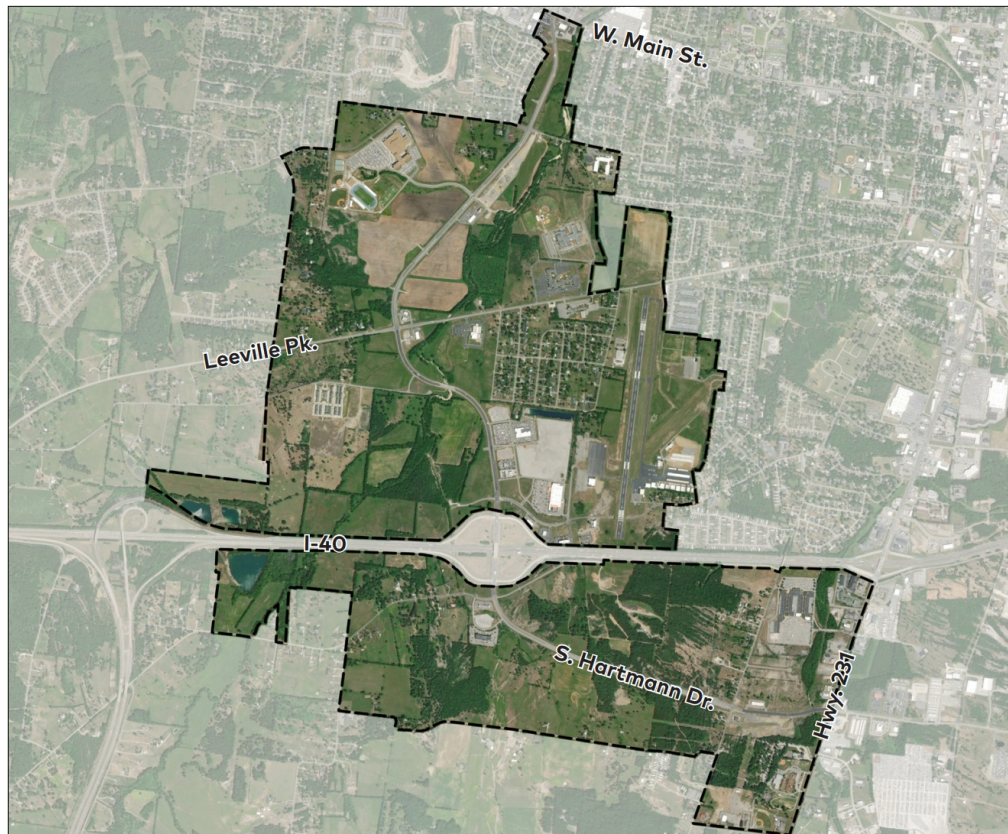


FIGURE A-1 TERRITORIAL MAP

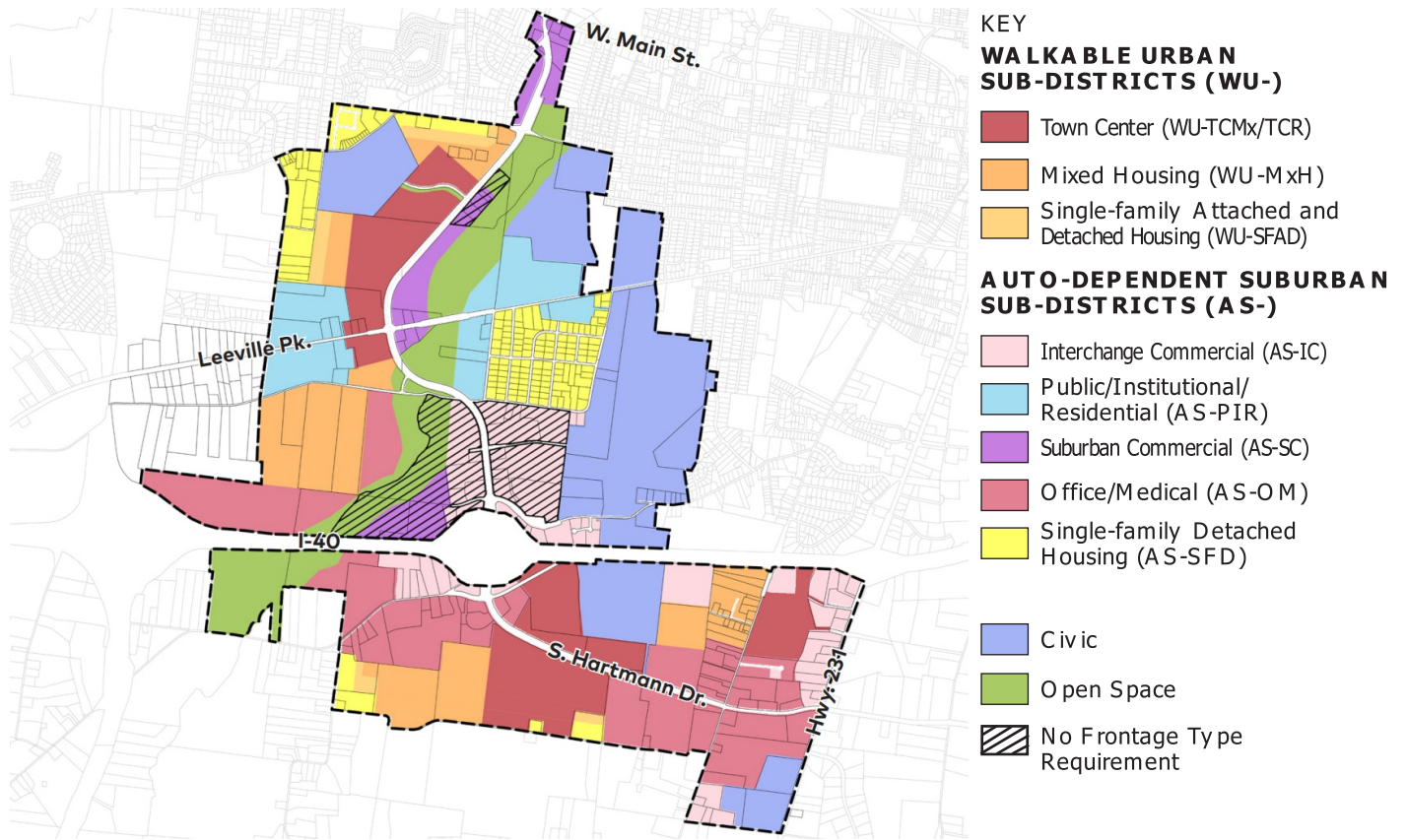


FIGURE A-2 REGULATING PLAN

**b. Auto-dependent Suburban Areas (AS-)**

Auto-dependent Suburban Areas are single or mixed-use development areas whereby access and circulation between development is primarily via the automobile. These development areas are characterized by segregated development patterns and street patterns that are less conducive to pedestrian and bicycle mobility. The following Auto-dependent Suburban Sub-districts are established and illustrated in Figure A-2 and are part of the Official Zoning Map:

- Interchange Commercial (AS-IC)
- Suburban Commercial (AS-SC)
- Office/Medical (AS-OM)
- Public/Institutional/Residential (AS-PIR)
- Single-family Detached (AS-SFD)

Standards and guidelines in this section are established for all of these sub-districts in section C. Regulations.

**5. Standards and Guidelines Defined**

The regulations in this section include design standards and design guidelines as defined below.

**a. Design Standards**

Design Standards are prescriptive, quantifiable measures and rules that provide specific direction for meeting the intent of this section. Design Standards use terms such as “shall” or “must” to indicate that compliance with the standard is required.

**b. Design Guidelines**

Design Guidelines are recommended approaches for meeting the intent of this section. Design Guidelines use terms such as “should” or “may” to indicate that the guideline is relevant to the intent and will be considered during the review process.

**6. Land Use**

**a. Permitted Land Use**

The land uses permitted within the South Hartmann Gateway overlay district shall be according to the underlying zoning district(s) as established by the Lebanon Zoning Ordinance.

**b. Rezoning**

Prior to development, applicants may seek a rezoning to a different base zone district if the current underlying zoning is not compatible with the sub-districts in this overlay, the South Hartmann Drive Gateway Plan, or the Future Land Use Plan. If rezoning is requested, refer to Table A-1 for guidance on an appropriate underlying base zoning by sub-district.

**c. Rural Residential Zoning**

Land zoned as Rural Residential (RR) may be developed according to the requirements of RR in the Lebanon Zoning Ordinance, if desired.

**7. Transitional Provisions**

**a. New Development**

Except as provided elsewhere in this section, upon the effective date of this ordinance or any

subsequent amendment, any new building or other new structure must be constructed or developed only in accordance with all applicable provisions of this overlay. No permits for construction or land disturbance shall be issued without review for compliance with this Overlay as well as other applicable Lebanon development regulations.

**b. Additions**

Except as provided elsewhere in this section, upon the effective date of this ordinance or any subsequent amendment, any addition to an existing building or buildings must be constructed or developed only in accordance with all applicable provisions of this section if any of the following criteria are met:

- The addition fronts a public right-of-way; or
- The gross floor area of the addition exceeds 25% of the gross floor area of the existing building or structure being modified.

**c. Modifications**

Except as provided elsewhere in this section, upon the effective date of this ordinance or any subsequent amendment, any modification to an existing element of a building or buildings must comply with the provisions of this section if all of the following criteria are met:

- The building element is regulated by this section; and
- The proposed modification fronts a public right-of-way.

Only modifications that meet the above criteria are required to comply with the provisions of this section. Modifications shall not force compliance of the whole building.

**d. Repair and Maintenance**

Routine repairs and maintenance of an existing building or site are permitted and are not required to comply with the provisions of this section. If elements have deteriorated beyond the point where they can be retained, they shall be replaced in kind. Elements that are not replaced in kind shall be considered Modifications and are subject to the section on modifications above.

TABLE A-1 BASE ZONING TABLE

Sub-districts	Appropriate Base Zone(s)
WU-TCMx/TCR	DXU, CXU
WU-MxH	RXH
WU-SFAD	RS6; RD9
AS-IC	CI
AS-PIR	RPI
AS-SC	CS
AS-OM	COM
AS-SFD	RS9; RD9
Civic	RPI
Open Space	any

## **e. Changes of Use**

Except as provided elsewhere in this section, upon the effective date of this ordinance or any subsequent amendment, any change of use within an existing building or structure must comply with the provisions of the underlying zoning designation of the property with the exception that new signage must comply with the standards of this section.

## **f. Previously Issued Permits and Pending Applications**

Previously issued permits and pending applications will be processed in accordance with and decided pursuant to the law existing on the date the application was filed.

## **8. Other Provisions of Zoning Ordinance**

The provisions of this overlay district vary the provisions of the underlying base zoning district. Provisions of the Lebanon Zoning Ordinance that are not varied by the provisions set forth in this section shall continue to apply, whether or not such other provisions are specifically referenced in this overlay district. The lack of a cross-reference to other provisions of the Lebanon Zoning Ordinance does not exempt a property, building, structure, or use from such provisions.

## **9. South Hartmann Access Management Plan**

The provisions of this overlay do not replace or supercede the recommendations in the South Hartmann Access Management Plan.

## **10. Conflicting Provisions**

### **a. Conflict with State or Federal Regulations**

If the provisions of this overlay district are inconsistent with those of the state or federal government, the more restrictive provision will control, to the extent permitted by law. The more restrictive provision is the one that imposes more stringent controls.

### **b. Conflict with other City Regulations**

If the provisions of this overlay district are inconsistent with one another, or if they conflict with provisions found in other adopted ordinances or regulations of the city, the more restrictive provision will control unless otherwise expressly stated. The more restrictive provision is the one

that imposes more stringent controls.

## **c. Graphics**

The graphics in this section are for illustrative purposes only. Where there is a conflict between a graphic and the text, the text controls.

## **11. Design Standards for Single-family Detached and Two-family Residential**

Review and approval of new single-family or two-family residential development shall be reviewed and approved by the Planning Director, or the Planning Director's designated staff.

## **12. Deviations from the Design Standards**

a. Appeals of the Planning Director's decision for single-family and two-family residential may be heard by the Board of Zoning Appeals. All other requests for deviation from the standard may be considered by the Design Review Board (the Planning Commission) when such deviations will enhance the appearance and design of development subject to review.

b. A request for deviations shall be submitted by the applicant in writing at the time of the initial filing of the application. The request shall state the deviation(s) requested; the grounds for the request; and the facts upon which the applicant is relying.

c. The Planning Commission may approve the request if it determines the deviation(s) will not be detrimental to the health, safety, and welfare of the public; the grounds for the request are unique to the project; the deviations are necessary to achieve the design intent of the project; and the deviations are not contrary to the design intent of the South Hartmann Gateway Overlay.

d. The Planning Commission may impose reasonable conditions or restrictions in granting deviation requests to protect the health, safety, and welfare of the public and meet the purposes of this ordinance.

## **13. Definitions**

Definitions for unique terms used in this ordinance have been included in Chapter 9 of the Zoning Ordinance.

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## B. ADMINISTRATIVE PROCEDURES

### 1. Pre-Application Conference

A pre-application conference with City staff is encouraged prior to any application for approval under this overlay. The purpose of the pre-application conference is to provide an overview of the materials needed to submit an application and a description of the process; answer questions related to development within the overlay; and determine and clarify issues that may arise. Applicants are encouraged to prepare and bring the following to the pre-application conference:

- Sketch map of the site;
- Description or sketches of the proposed development or use;
- Description of any known environmental, topographical, and structural features on the site;
- A list of issues to be discussed; and
- Any other supporting materials the applicant wishes to share about the development.

### 2. Site Plan and Building Design Review

Site Plan and Building Design review is required for all proposed development subject to this overlay as defined in section A.7. **Transitional Provisions.** Upon review by City staff, if all the requirements of this overlay have been met and no deviations from the standards are requested, the Site Plan and Building Design may be approved administratively. Should administrative approval be denied, the applicant may appeal decision to the Planning Commission. The Planning Director, at their discretion and at any time, may submit the Site Plan and Building Design to the Planning Commission for their approval. Approved Site Plan and Building Design is still subject to review by other agencies and departments before permits may be issued. For development subject to review the following documents are required for review.

#### a. Individual Single-family and Two-family Residential

- A site plan to include the site boundary, location of all buildings or other structures, parking areas, setbacks dimensioned, and applicable calculations that indicate

compliance with the provisions of the overlay district; and

- elevations of all building facades to include dimensions, materials, and applicable calculations in tabular format to indicate compliance with the provisions of the overlay district.

#### a. All Other Development

- Final site plan prepared by a Tennessee licensed engineer or surveyor for the development to include the site boundary, topographic information, flood and other natural feature information, location of all buildings or other structures, interior streets, parking areas, open space, utilities, and all other features and facilities to be installed or used in connection with the proposed development. Applicable calculations that indicate compliance with the provisions of the overlay district shall be included on the site plan in tabular format;
- a detailed landscape plan to include the location and species of all plantings and the location and design of all fences;
- elevations of all building facades to include dimensions, materials, and applicable calculations in tabular format to indicate compliance with the provisions of the overlay district; and
- additional information necessary to satisfy City of Lebanon requirements for engineering and storm.

Upon approval, a site plan and/or development plan is valid for a period of three (3) years, after which it becomes void unless a building permit has been issued based on the approved site plan and/or building plan.

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## C. REGULATIONS

### 1. General to All Sub-districts

Unless specified elsewhere in this section, these regulations apply to all Sub-districts.

#### a. Land Use

Unless specified elsewhere in this section, permitted uses may be located anywhere within a building pursuant to compliance with applicable building codes.

#### b. Grading and Drainage

- i. **Intent:** In addition to meeting the regulatory requirements for grading and drainage within the City of Lebanon, proposed development should be designed in a manner that is sensitive to and enhances the natural features of the immediate site and its surroundings.
- ii. Although specific regulations are not identified the City recommends significant clearing/removal of existing mature trees be avoided.
- iii. Site grading should be minimized and performed only as necessary to allow the proposed development to provide reasonable bldg pads, parking, access, landscape, drainage, etc. Proposed development should be designed in a manner that works with the topographic form of the site. If large expanses of significant topographic change exist, the type of proposed development in such areas should be appropriate to the land form in order to avoid mass grading that significantly alters the landscape.
- iv. A variety of best management practices are encouraged to address stormwater drainage and runoff management. Best management practices include tools and techniques related to paving, channeling, storage, and filtration. Large detention ponds are discouraged as the sole means of stormwater management unless such ponds can be designed in a naturalistic manner that complement the development, and/or help meet open space requirements (see 6. Usable Open Space Standards).

#### c. Utilities

- i. **Intent:** Above ground utility systems create visual clutter and have a negative impact on the pedestrian environment. It is important that such systems be located below ground or otherwise visually screened from the street.
- ii. All utilities for new development or redevelopment in both the public and private R.O.W., including, but not limited to, telephone, electricity, cable, fiber, and fuel systems shall be placed underground, with the exception of extreme conditions where underlying rock or other barriers make this requirement unreasonable; or where certain appurtenances and accessories must be installed above ground for servicing. In such instances, above ground utility systems should not be located between the building and the street. The installation of duct banks may be required to protect underground utilities.
- iii. All underground electrical service connections shall be approved by Middle Tennessee Electric (or the electrical provider). If underground electric is not approved by Middle Tennessee Electric (or the electrical provider) alternates maybe considered.

#### d. Lot

- i. **Intent:** To ensure connection between the public and private realm, it is important that lots and, subsequently, buildings should front streets and/or useable open spaces as addressed in section 6 Useable Open Spaces. It is equally important that internal streets and spaces be connected to each other to the extent possible, as well as to existing major streets, to form a complete street and open space network.
- ii. Lots shall front on a public street, private street built to public standard, or, as permitted by Sub-district, a useable open space (see section 6).
- iii. The coverage requirements do not include paved areas such as driveways; surface

parking; uncovered porches, stoops, patios, or decks; and swimming pools.

substantial amount of glazing on the sidewalk and an awning that may overlap the sidewalk.

**e. Placement**

i. **Intent:** It is important that buildings, rather than parking, be the dominant characteristic in the South Hartmann Gateway. This creates an environment more balanced between automobiles and other modes of transportation, such as pedestrians and bicycles. While building placement varies by sub-district, the intent is for new development to be built closer to the street with the majority, or, in some cases, all of the parking located behind buildings.

ii. Setbacks are measured at a right angle from the adjacent property line.

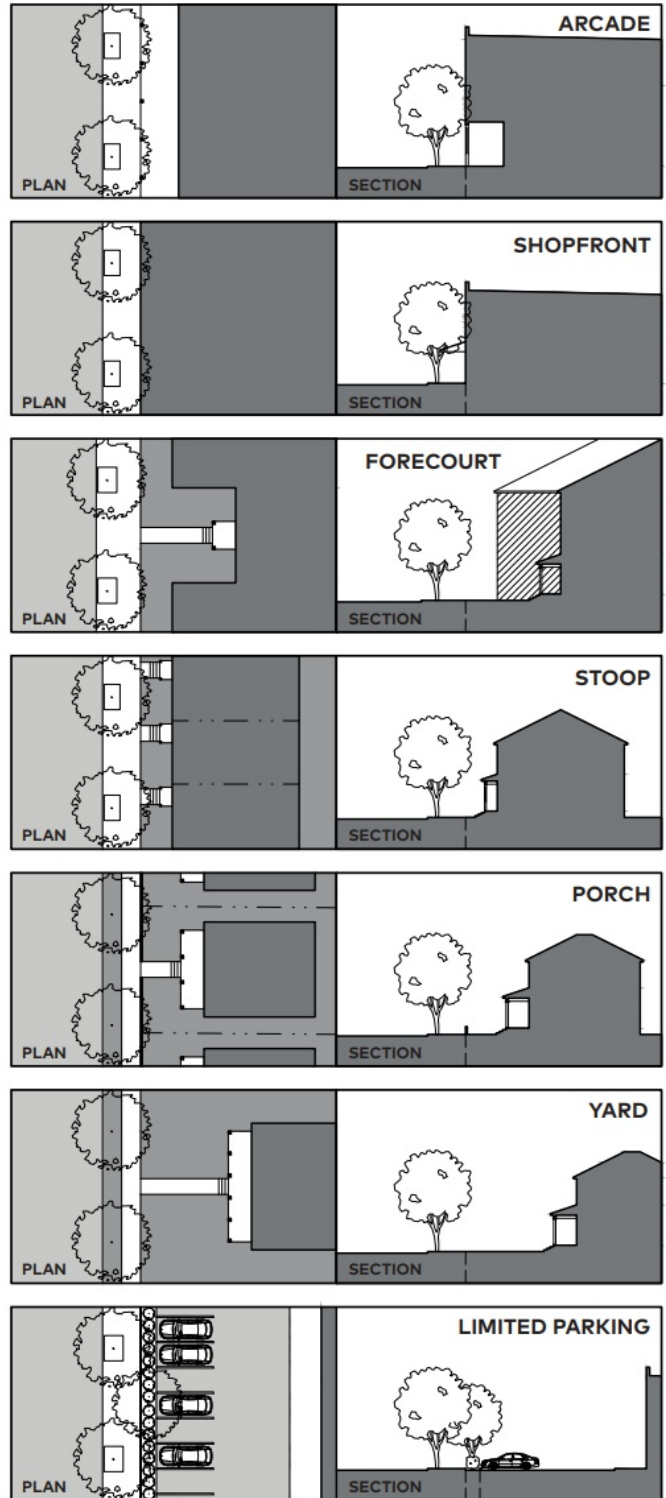
**f. Frontage/Encroachments**

i. **Intent:** Frontage is the area between a building and its fronting street. It is the area that transitions between the public realm of the street and the private realm of the building. The interface of these two realms is important in the creation of an environment that is conducive to pedestrians, bicyclists, as well as vehicles. Public frontages are addressed in section 5. Thoroughfare Standards. Frontages on private property are defined in this section and are permitted as applicable by sub-district in sections 2. and 3. Areas indicated as such in Figure A-2 are not required to provide one of the following Private Frontage Types.

ii. **Private Frontage Types** (see Figure C-1)

1. **Arcade:** An Arcade is a frontage wherein a building facade is aligned close to the frontage line but the ground story is set back effectively expanding the sidewalk width while maintaining a consistent building alignment at the frontage line.

2. **Shopfront:** A Shopfront is a frontage wherein a building facade is aligned close to the frontage line with the building entrance at sidewalk grade. This type is conventional for retail use. It has a



**FIGURE C-1 PRIVATE FRONTAGES**

3. **Forecourt:** A Forecourt is a frontage wherein a building facade is aligned close to the frontage line and the central portion is set back. The forecourt created is suitable for vehicular drop-offs, outdoor dining, or a combination of landscaping and hardscaping for passive recreation. This type is typically allocated in conjunction with other frontage types.
4. **Stoop:** A Stoop is a frontage wherein a building facade is set back slightly from the frontage line with the first story elevated above the sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground story residential uses.
5. **Porch:** A Porch is a planted frontage wherein a building facade is set back from the frontage line with an attached porch. A porch is of sufficient size to be an occupiable space. An optional fence at the frontage line maintains the spacial definition of the street. Porches are not required along secondary frontages.
6. **Yard:** A Yard is a planted frontage wherein a building facade is set back substantially from the frontage line. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape. This type is typically associated with suburban conditions such as office buildings or front-loaded single-family detached houses.
7. **Limited Parking:** Limited Parking is a type of frontage intended for arterial streets, such as South Hartmann Drive, Leeville Pike, Highway 231, or Franklin Road, wherein a building facade is set back substantially from the frontage line to allow a single double-loaded aisle of parking between the building and the fronting street. This type is associated with commercial and office development in a suburban setting and helps to create a

buffer from higher speed thoroughfares. This type favors vehicular traffic; however, parking is screened from the adjacent street and pedestrian connections are required between sidewalks in front of buildings and the public sidewalk network along the street. Large footprint non-residential buildings (20,000 sf+) are permitted to have larger fields of parking located behind smaller buildings or outparcels along major streets. Gas pump canopies shall be located to the rear or side of principal structures. Other private frontages may be combined with the Limited Parking frontage in accordance with the applicable sub-district and dependence on the prescribed set back from South Hartmann and Leeville Pike.

### iii. Encroachments

1. Attachments, as defined below, may encroach into setbacks as applicable by sub-district.
2. Encroachments are not permitted across a Lot line unless indicated by sub-district in sections 2. and 3. Encroachments into a public R.O.W. must be approved by the controlling authority.

### iv. Attachments

1. Attachments are elements, excluding signage, attached to the facades of buildings that form part of the Frontage Type. The following dimensional standards apply to Attachments as permitted by sub-district. Refer to **g. Architecture** for additional design standards related to attachments.
  - a. **Awnings/canopies** shall have a minimum clear height above a sidewalk of 9 feet and a minimum depth of 5 feet. A modification to these standards may be approved by the Planning Commission to fit an awning/canopy on an existing building. Awning/ canopy encroachments into a public right-of-way shall be approved by the authority

with ownership of the right-of-way.

- b. **Balconies** shall have a minimum clear height above a sidewalk of 9 feet and a minimum clear depth of 4 feet and width of 5 feet.
- c. **Porches** shall have a minimum clear depth of 6 feet excluding steps and width of 8 feet. Porches may not encroach into a public right-of-way.
- d. **Stoops** shall have a minimum clear depth of 4 feet and width of 5 feet. Stoops may not encroach into a public right-of-way.

**g. Form**

i. **Intent:** The form of a building, including its height, articulation, and amount of transparency contributes to the quality of the environment between the building and the street. It is important to avoid massive, blank facades when trying to create a streetscape that is inviting and comfortable for pedestrians.

ii. **Height**

- 1. The height of buildings shall be measured in stories and feet. Measurement in feet shall be the vertical distance from the average elevation of natural grade along the minimum primary street building setback to the bottom of the eave on a sloped roof or the highest point of the roof surface of a flat roof not including a parapet.
- 2. Where a lot slopes down from the primary street a minimum of 10 feet vertically, one additional story is allowed beyond the maximum number of stories as applicable by sub-district.
- 3. Non-occupiable roof elements such as spires, cupolas, water towers, and similar structures may exceed the maximum height requirements by 20% if set back from building facades a minimum of 10 feet.

- 4. Chimneys, flagpoles, skylights, parapets and similar structures may exceed the maximum height requirements by 6 feet.
- 5. Stairways to the roof; rooftop shade structures, elevator penthouses; and rooftop mechanical equipment may exceed the maximum height requirement by 10 feet if set back from building facades a minimum of 10 feet.
- 6. Minimum story height requirements shall be measured from the top of the finished floor to the ceiling above.
- 7. Minimum raised foundation requirements shall be measured from the top of the adjacent sidewalk to the top of the finished floor of the ground level.

iii. **Articulation**

- 1. Articulation requirements by sub-district shall be met in one or more of the following methods:
  - Facade offset with a minimum depth of two (2) feet that extends to within two (2) feet of the full height of the façade.
  - Facade projection or recession with a minimum depth of four (4) inches and a minimum width of one (1) foot that extends the full height of the first story of the façade.
  - Variation in building or parapet height of a minimum two (2) feet for single story buildings and four (4) feet for buildings with two or more stories.
  - The use of multiple roof forms to create the effect of different building components.

iv. **Transparency**

Transparency shall be measured by dividing the area of windows and doors by the total facade area of a street-facing story. Transparency requirements are established in each sub-district or underlying zoning.

### a. Parking, Access, and Loading

Off-street parking and loading requirements shall be according to Appendix D of the Lebanon Zoning Ordinance.

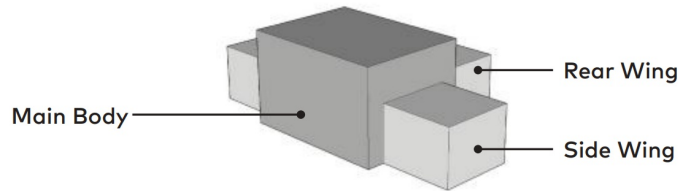
### a. Architecture

#### i. General

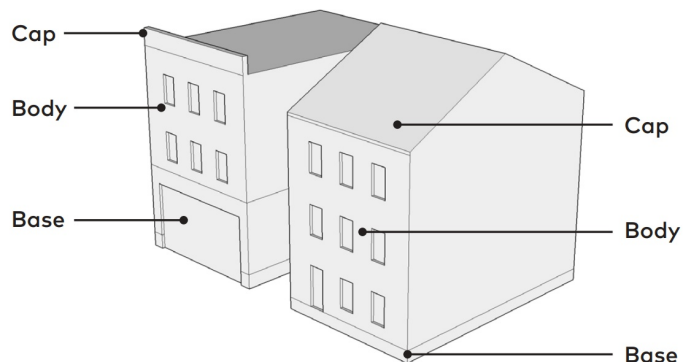
1. The standards in this section apply to facades that face a street (public or private) or usable open space (i.e. primary facades) and side facades (i.e. secondary facades) for a minimum depth of 20 feet, unless otherwise stated.
2. Buildings shall be oriented so that a primary entrance(s) faces the primary street or, when permitted by Sub-district, a public open space.
3. Building entrances (excluding service access or emergency egress) shall be defined by a roof covering or by being recessed.
4. Buildings shall be generally built parallel to the street frontage. If the street frontage is not straight, facades shall be generally built tangent to the street frontage. The Design Review Board may waive this standard in situations where the side lot lines are not perpendicular to the front property line.
5. Buildings shall have simple massing in order to clearly distinguish the main body of the building from side or rear wings (see Fig. C-2)
6. Street-facing facades shall be composed so that the rhythm of ground floor attachments and openings harmonizes with the rhythm of attachments and openings on upper stories.
7. Buildings and related elements shall be arranged in a manner to indicate the pattern of base, body or shaft, and cap (see Fig. C-3). The base of 1 or 2 story buildings shall be a minimum of 2 feet tall

and the base for buildings greater than 2 stories shall be a minimum height equal to the height of the ground story.

8. Buildings on corner lots, shall address both streets with openings or the following attachments: porches and bay windows. For the purpose of this standard, an alley is not a street.



**FIGURE C-2 MASSING**



**FIGURE C-3 BASE/BODY/CAP DIAGRAM**

#### ii. Facades

1. Building material standards apply to the entire area of primary facades and secondary facades.
2. Building facades shall be built of no more than two primary materials, excluding accent materials, and shall only change material along a horizontal line (with the lighter material above the heavier material), outside corners (where material wraps the corner a minimum of 2 feet), or inside corners.
3. Materials, other than masonry, shall be painted, stained, or have a factory-applied finish.

#### iii. Openings

1. Openings, including dormers, should be centered vertically with other openings or shall be centered with the wall between openings.
2. With the exception of transoms and decorative windows, windows shall be square or vertically proportioned and rectangular in shape. The grouping of individual windows is permitted.
3. Window muntins, if included, shall be simulated divided lites fixed on the interior and exterior surfaces and shall create panes of square or vertical proportion (as tall as wide or taller than wide).
4. Transoms may be oriented horizontally with panes that match other opening configurations. Transoms may be awning, hopper or fixed.
5. Shutters shall be the same height as the window, and 1/2 the width of the window. Small windows may have one shutter that is the full width of the window. Shutters shall be operable or designed and installed as if they were operable including hardware.

#### **iv. Roofs**

1. Principal building roofs, if sloped, shall be a symmetrical.
2. The ridge of the building roof should generally be oriented either parallel to or perpendicular to the street.
3. All gable and hipped roofs of a building, excluding ancillary roofs, should generally have the same slope where visible from a street or open space.
4. Flat roofs shall have parapet walls on facades that face or are visible from a public street, private street, or open space. The primary material used on parapets shall match the material of its associated façade.
5. Dormers should light attic spaces and must

be placed a minimum distance of 3 feet from side building walls.

6. Gas stations and carwashes shall have pitched roofs for both buildings and canopies. Canopies shall be constructed of the same materials, architectural style, and pitch as the principal building.

#### **v. Attachments**

1. Awnings and canopies shall not be internally illuminated.
2. Balconies shall not be fully enclosed.
3. Bay windows shall have visible support, either by extending the bay to grade with a foundation or transferring the projection back to the wall with beams, brackets, or brick corbeling.
4. Chimneys shall extend to grade.
5. Decks should not be located on facades that face a street or public open space.
6. Porches should have square or vertically proportioned openings.
7. Porches may be enclosed with glass or screens; however, enclosures are not permitted on porches that face a street or public open space.
8. Posts and columns shall generally include a base, shaft, and capital. The base of posts, columns, and pedestals shall generally align with the face of the foundation wall directly below. The outside face of porch beams shall generally align with the face of the top of the column.
9. Railings shall have top and bottom rails.

#### **a. Landscaping and Screening**

##### **i. Intent**

The principal intent of landscaping standards is to improve the overall appearance of the community; to reduce storm water runoff, noise, heat, and chemical pollution through the

preservation and installation of canopy trees. The standards that vary from the Lebanon Zoning Ordinance are included in this section.

## ii. Landscape Buffers

The Walkable Urban Sub-districts are exempt from landscape buffer requirements in the Lebanon Zoning Ordinance.

## iii. Walls

Decorative and functional walls shall be designed in a manner that creates a unified appearance in style, size, and materials throughout the overlay.

## iv. Maintenance

Maintenance of all landscape, including streetscape elements defined in C.5. Thoroughfare Standards shall be according to the Lebanon Zoning Ordinance.

## v. Specific Landscape Standards

Proposed development shall be in accordance with the standards in the Lebanon Zoning Ordinance with the exception of the following:

1. Planting strip width and character for the Walkable Urban Sub-districts shall be established according to the standards in C.5. of this section.
2. Sidewalk zone for the Walkable Urban Sub-districts shall be established according to the standards in C.5. of this section.
3. Front yard landscaping standards for the Walkable Urban Sub-districts shall be as follows:

(a) WU-TCMx

No front yard landscaping is required.

(b) WU-TCR, WU-MxH, WU-SFAD

A foundation planting along 100% of the facade of each building which faces a street, excluding necessary breaks for sidewalks, entrances, etc. The foundation planting area shall have a minimum depth

of 6 ft. and the planting shall include:

- 2 Medium Evergreen Shrubs as specified in Section 14.805.E.5 for every thirty (30) feet of building facade;
- 8 Small Evergreen or Deciduous Shrubs (or a combination thereof) of at least two different species as specified in Section 14.805.E.5 for every 30 ft. of building façade. The shrub requirement may also be met with a combination of shrubs and ornamental grasses; and
- 1 Class II Shade Tree or 2 Ornamental Trees as specified in Section 14.805.E.5 for every 50 ft. of building façade. (WU-MxH & WU-SFAD)

## a. Signage

- i. **Intent:** In general, signage should be designed to compliment proposed development, minimize distraction, and provide the minimum identification necessary for the proposed development. Signage for Auto-dependent Suburban Districts shall follow the requirements of the Lebanon Zoning Code. Signage in the Walkable Urban Sub-districts, except along S Hartmann Drive or Leeville Pike, should be subordinate to the building. The building becomes the signage that characterizes the community. Signage should also be appropriately scaled to the pedestrian instead of the automobile. The intent is to encourage a variety of signage types that clearly identify businesses and other uses, but in a manner that enhances the streetscape and the pedestrian experience.
- ii. Entry and wayfinding signage for the South Hartmann Gateway area should be designed in a manner that creates a unified appearance throughout the overlay in material and theme.
- iii. The following signs and associated standards that vary from the Lebanon Zoning Ordinance shall apply to signage in the Walkable Urban Sub-districts.

iv. Awning Signs

1. Awning signs shall have a maximum height of 2 ft. and a maximum area of 16 square ft.
2. Awning signs shall be limited to awnings above ground story windows and doors.
3. Awning signs shall not be internally illuminated.



Examples of Awning Signs

v. Canopy Signs

1. Canopy signs shall have a maximum height of 2 ft. and a maximum area of 16 square ft.
2. Canopy signs shall not extend beyond the ends of the canopy.
3. Canopy signs shall be limited to one sign per facade.
4. Canopy signs may be internally or externally illuminated.



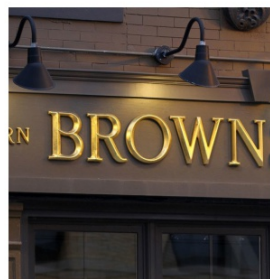
Examples of Canopy Signs

vi. Projecting Signs

1. Projecting signs shall have a maximum height of 3 ft.; a maximum projecting width of 4 ft.; a maximum depth of 6 in.; and a maximum area of 9 sq. ft. A projecting sign shall have a minimum of 6 inches and a maximum of 12 inches of space between facade and sign.
2. Projecting signs shall be limited to one sign per tenant space.
3. Projecting signs shall be located between ground story window and door heads and second story window sills. In single story buildings, projecting signs shall not extend above roof eaves on a sloped roof or above the surface of a flat roof.
4. Projecting signs shall not be internally illuminated.



Examples of Projecting Signs



Examples of Wall Signs

vii. Wall Signs

1. Wall signs shall have a maximum depth of 1 foot and a maximum area of 32 sq. ft.



Examples of Window Signs

2. Wall signs shall not extend above roof eaves on a sloped roof or above the parapet on flat roofs.
3. Wall signs shall not cover windows or doors.
4. Wall signs may be internally or externally illuminated.

viii. Window Signs

1. Window signs shall be limited to ground story windows and doors.
2. Window signs shall not cover more than 20% of ground story windows and doors.

**2. Standards Specific to Walkable Urban Sub-districts (WU-)**

The standards in this section apply to the Walkable Urban Sub-districts as designated on the Regulating Plan.

**a. Cohesive Development**

It is the intent of this overlay that the Walkable Urban Sub-districts work together to form complete neighborhoods, which are pedestrian-friendly and composed of a mixture of uses, a mixture of building types, an interconnected street network, and useable open space. Developments greater than 40 acres shall demonstrate via a site plan the system of blocks, streets, open space, and development mix to promote a complete neighborhood. It is not the intent of the Walkable-Urban Sub-districts to create many adjacent developments with no mixture of building types or use and with no interconnectivity. The South Hartmann Gateway Plan will be a guiding document to reinforce this intent.

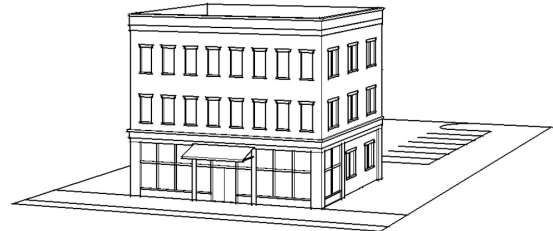
**b. Land Uses**

Permitted land uses shall be in accordance with the permitted land uses of the underlying base zoning district as established in Chapter 3 of the Lebanon Zoning Ordinance and further defined by the permitted Building Types established herein.

**c. Building Types**

The following building types are permitted according to the sub-districts.

**MIXED-USE/COMMERCIAL**



A building with a limited or no front yard that has commercial use(s) on the ground floor and may have residential and non-residential uses on upper floors. Parking is located behind or below the building in a surface lot or structure.

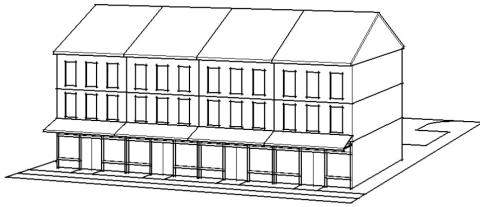
**FLATS**



A detached multi-family dwelling (or multiple buildings) of at least 3 units per building on a single lot with a shallow front yard, narrow side yards, and parking behind or below the building in a surface lot or structure. Sub-types include:

- Large-Footprint Flats: Multi-family dwelling buildings with a footprint of greater than 5,000 sf.
- Small-Footprint Flats: Multi-family dwelling buildings with a footprint of less than 5,000 sf.

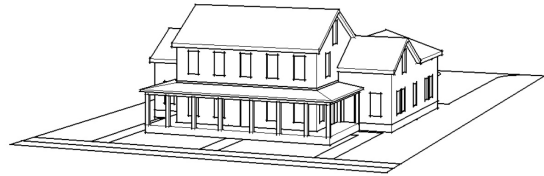
### LIVE/WORK TOWNHOUSE



A dwelling attached on one or two sides with flexible space for a non-residential use on the ground floor. Live/ Work Townhouses have a very shallow front yard and a parking area or garage at the rear of the lot.

Massing, Main Body: 20 ft. w. min./35 ft. w. max.

### MANSION FLATS

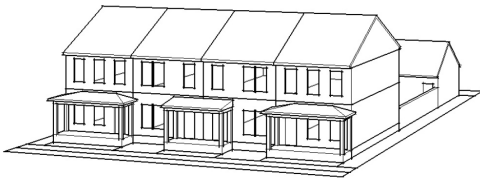


A detached multi-family dwelling, of up to 8 units, on a single lot with a parking area or garage at the back of the lot. Mansion Flats are designed to resemble a large, single-family structure.

Massing, Main Body: 45 ft. w./50 ft. d. max.

Massing, Front/Side Wings: 30 ft. w./40 ft. d. max.

### TOWNHOUSE

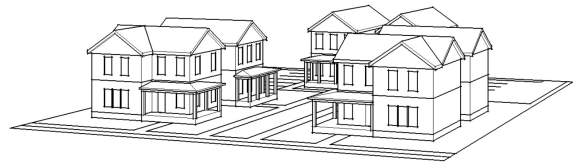


A dwelling facing a street or courtyard and attached on one or two sides. Units typically have a shallow front yard and shall have a private courtyard between the rear of the unit and the parking area or garage at the rear of the lot.

Massing, Main Body: 18 ft. w. min./35 ft. w. max.

Rear Courtyard Depth: 10 ft. min.

### COTTAGE OR TOWNHOUSE COURT



Detached or attached single-family dwellings on a single lot or multiple lots arranged around a landscaped courtyard with a parking area or garages at the rear of the lot or on an adjacent lot.

Massing, Main Body: 40 ft. w./50 ft. d. max.

Massing, Front/Side Wings: 30 ft. w./15 ft. d. max.

Courtyard width: 20 ft. min.

## TWO-FAMILY HOUSE

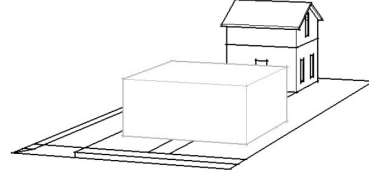


A detached two-family dwelling on a single lot with a parking area or garage at the rear of the lot. Ideally, duplexes are designed to resemble a single-family structure.

Massing, Main Body: 50 ft. w. max.

Massing, Front/Side Wings: 30 ft. w. max.

## ACCESSORY DWELLING UNIT

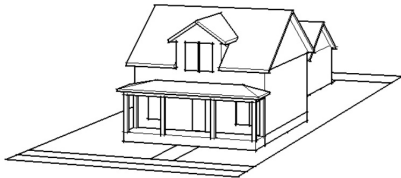


A separate additional living unit, including separate kitchen, sleeping, and bathroom facilities, attached or detached from the primary residential unit, on a single-family lot.

Massing, Main Body: 30 ft. max. w. and d.

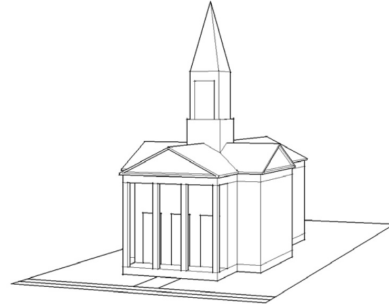
ADU size: 700 sf max.

## HOUSE



A detached single-family dwelling on a medium-size lot with access from its fronting street and parking recessed behind the front facade.

## CIVIC



A building type built for community use or benefit by government, institutional, cultural, educational, public welfare, or religious organizations.

**d. Town Center Mixed-use/Non-Residential (WU-TCMx) Standards**

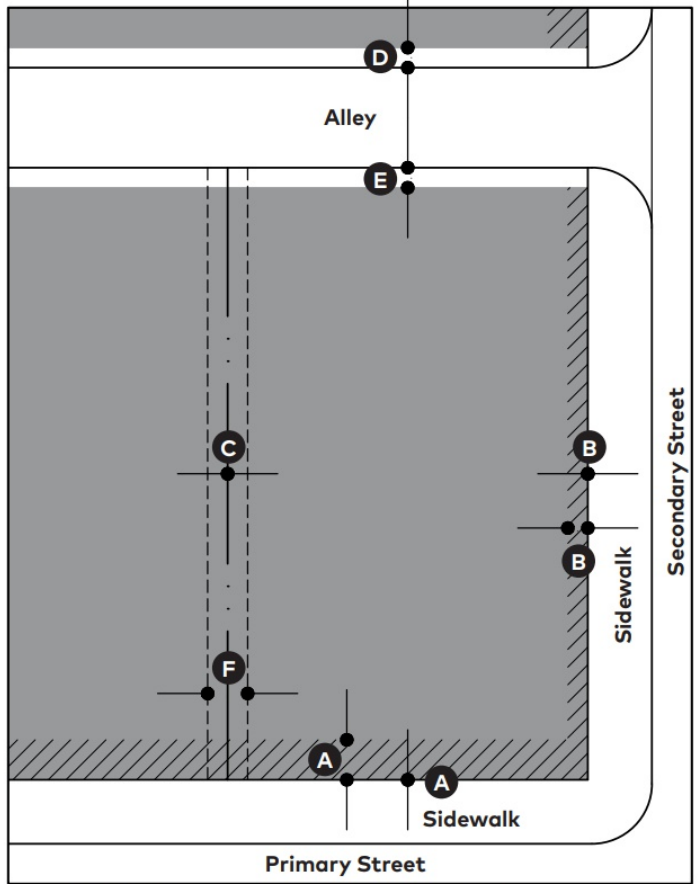
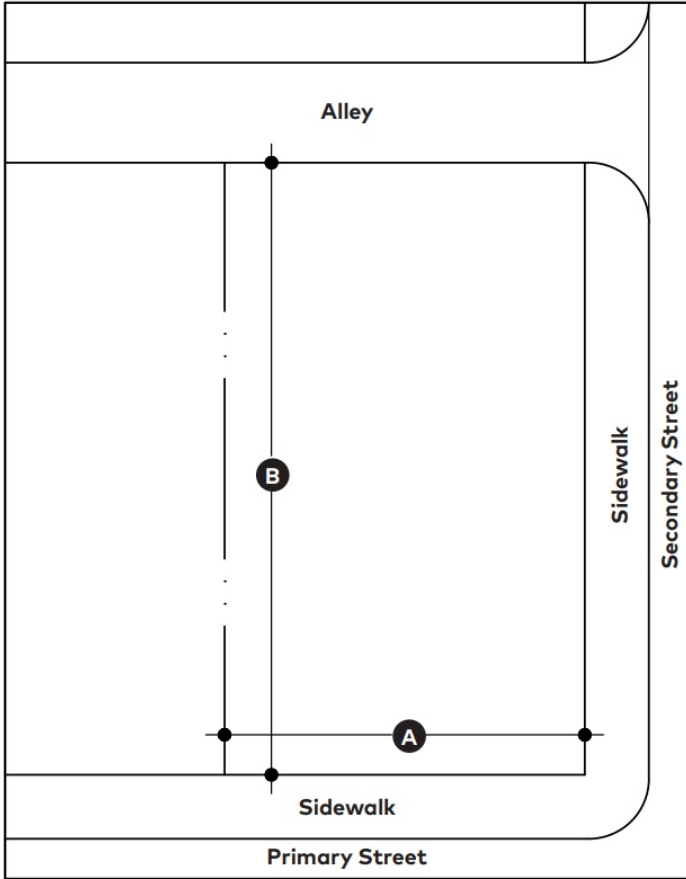
The diagrams, photographs, and text in this section define the intent and standards for the Town Center Sub-district as identified on the Regulating Plan. Additionally, the standards on this spread specifically relate to mixed-use/ commercial building types.

- i. For developments of 10 or more acres, a minimum of 10% first floor building area of a proposed development shall be WU-TCMx areas. Land impaired with floodway or floodplain, wetlands, steep slopes, and similar shall not count toward WU-TCMx areas.

- ii. The Building Types that are permitted are as follows. The prescribed mix applies to developments of 10 or more acres:

<b>Type:</b>	
Mixed-use/Commercial	30% min./100% max.
Live/Work Townhouse	No min./90% max.
Civic	No minimum requirement





■ Building Envelope      ▨ Facade Zone

## ii. LOT

Lot Size by Type:	Width <b>A</b>	Depth <b>B</b>
Mixed-use/Commercial:	70 ft. min.	125 ft. min.
Live/Work Townhouse:	20 ft. min.	85 ft. min.

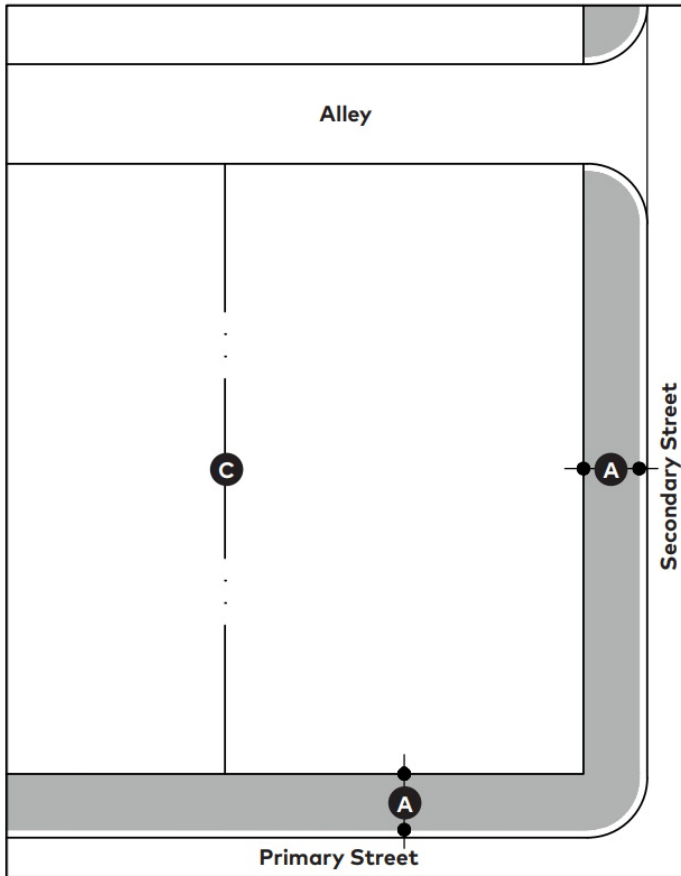
## iii. PLACEMENT

### Build-to Zone and other Setbacks (from Lot Line):

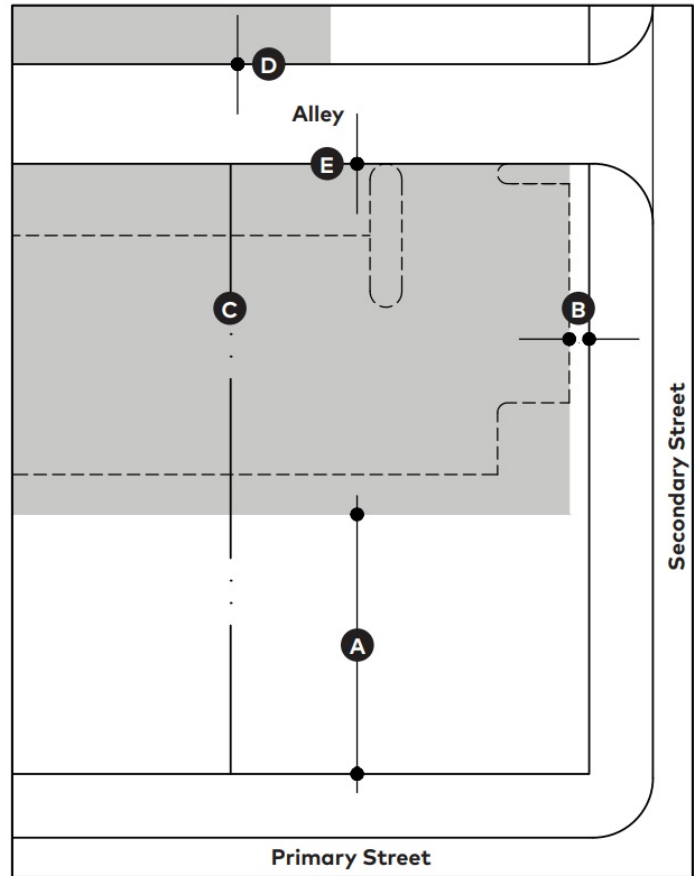
- Principal Building:**
- S. Hartmann/Leeville Build-to: 30 ft. min./80 ft. max. **A**
  - Primary Street/Front Build-to: 0 ft. min./5 ft. max. **A**
  - Secondary Street Build-to: 0 ft. min./5 ft. max. **B**
  - Front Facade within Build-to: 80% min.
  - Side Setback: 0 ft. min./end units 5 ft. min. **C**
  - Rear & Alley Setback: 5 ft. min. **D E**
- Accessory Building(s):**
- Primary Street/Front Setback: 60 ft. min. **A**
  - Secondary Street Setback: 5 ft. min. **B**
  - Side & Rear Setback: 5 ft. min. **C D E**

### Miscellaneous Placement Standards:

- b. A maximum of 15% of total first floor building frontages are permitted to front a usable open space type established in section 6.
- c. A 10 ft. min. pedestrian passage is required at 140ft. intervals to connect rear parking areas with sidewalk. **F**



Encroachment



Parking

#### iv. FRONTAGE/ENCROACHMENTS

##### Private Frontage Types Allowed:

Arcade:	10 ft. min. clear depth
Forecourt:	15 ft. max. depth for 30% of Frontage
Shopfront:	required at ground level
Limited Parking:	S. Hartmann Dr./Leeville Pk. only

##### Frontage Type Encroachments:

Primary Street:	14 ft. max. <b>A</b>
Secondary Street:	14 ft. max. <b>B</b>

##### Other Encroachments: **A B C**

Overhangs/Chimneys:	2 ft. max. (end units)
Balconies:	6ft. max.
Bays:	2 ft. max.

##### Miscellaneous:

- a. Encroachments are not permitted across a Lot or R.O.W. line except as indicated.

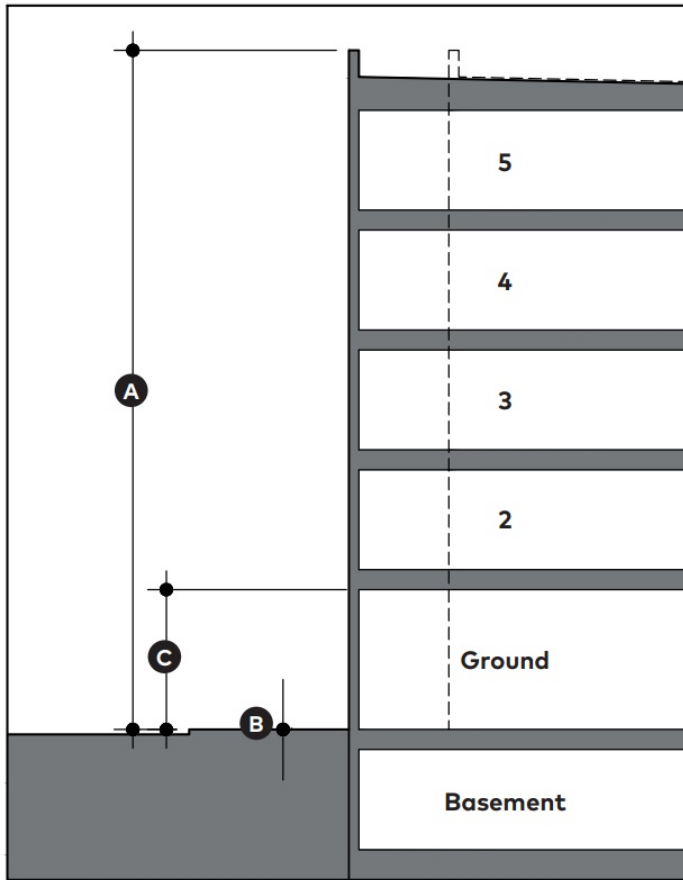
#### iii. PARKING

##### Parking Setbacks:

S. Hartmann Dr./Leeville Pk.:	15 ft. min. <b>A</b>
Primary Street:	50 ft. min. <b>A</b>
Secondary Street:	5 ft. min. <b>B</b>
Side, Rear & Alley:	0 fin min. <b>C D E</b>

##### Miscellaneous:

- a. Below grade parking may encroach to the lot line. Parking that is partially below grade may encroach to within 20 ft. of the lot line.
- b. Parking located in an attached garage may encroach within 20 ft. of the lot line.
- c. Access shall be from a rear alley or secondary street and cross access between parking areas is required. Access from S. Hartmann Drive should comply with the S. Hartmann Access Management Plan.



## vi. FORM

### Height:

#### Principal Building:

Airport Impact Zone:

Stories:	3.5 max.
To eave/parapet:	40 ft. max. <b>A</b>
Overall:	60 ft. max.

All Other Areas:

Stories:	5.5 max.
To eave/parapet:	60 ft. max. <b>A</b>
Overall:	80 ft. max.

#### Accessory Building:

Accessory Dwelling:	NA
Other:	2 stories
Raised foundation:	0 ft. min. <b>B</b>
Ground floor ceiling:	12 ft. min. <b>C</b>
Upper floor ceiling(s):	8 ft. min.

### Articulation:

Building facades that face a street or open space shall not exceed 30 ft. in length without a building articulation intended to minimize the mass of the building.

### Transparency:

Building facades that face a street or open space shall have a minimum transparency for each story as described below and consisting of shopfronts, doors, windows, or a combination thereof. Window and door glazing shall not be mirrored or heavily tinted to avoid obscuring visibility into the building.

- First story commercial uses shall have a minimum transparency of 60% on facades facing primary streets and 20% on facades facing secondary streets.
- First story residential uses shall have a minimum transparency of 20%.
- Upper stories shall have a minimum transparency of 15%.

### Miscellaneous:

- Development within the Airport Impact Zone may be limited further by the Airport Overlay District (AP).
- Buildings shall step down one story in height when located less than 60 ft. from WU-SFAD areas.

## vii. MATERIALS

### i. Primary Facade

A minimum of 75% of the facade area, exclusive of openings, shall be brick, stone, cast stone, or stucco (authentic). A maximum of 25% of the facade area may be wood siding/shingles/trim, fiber cement siding/shingles/trim, composite siding, or EIFS (upper stories only).

### ii. Secondary Facade

A minimum of 50% of the facade area, exclusive of openings, shall be brick, stone, cast stone, or stucco (authentic). A maximum of 50% of the facade area may be wood siding/shingles/trim, fiber cement siding/shingles/trim, composite siding, or EIFS (upper stories only).

**e. Town Center Residential (WU-TCR) Standards**

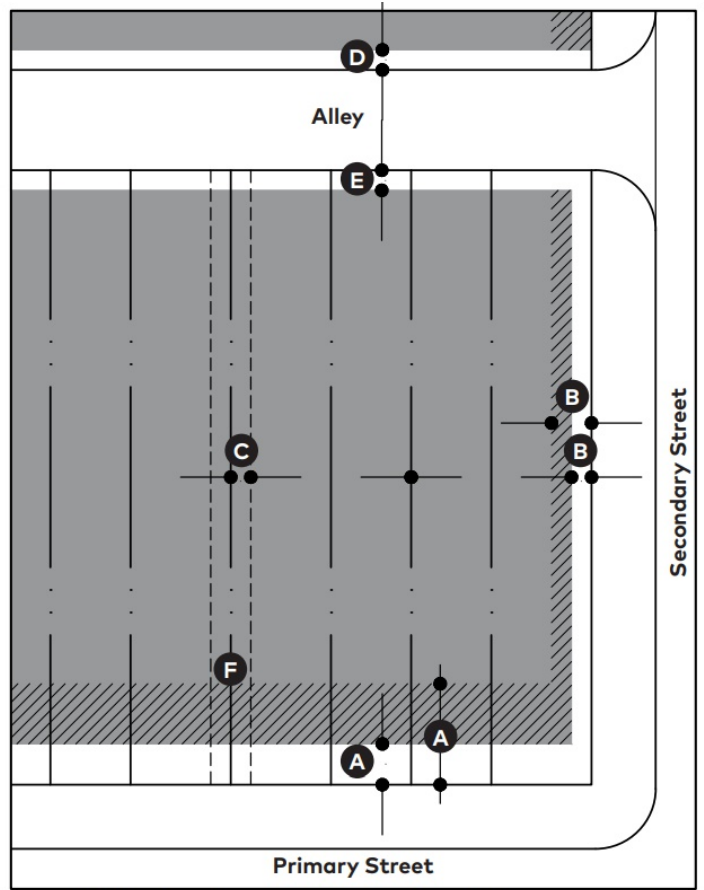
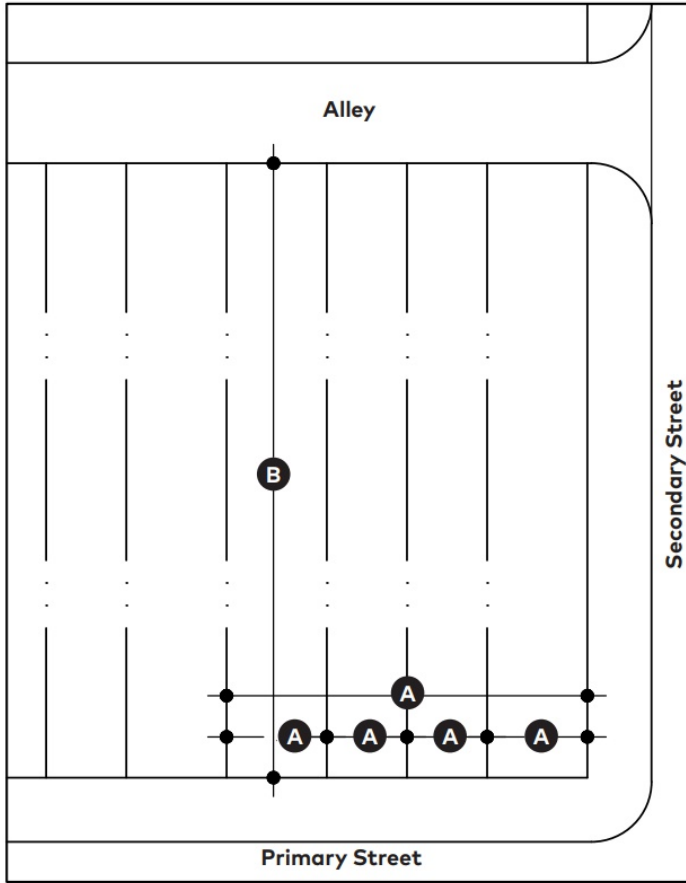
The diagrams, photographs, and text in this section define the intent and standards for the Town Center Sub-district as identified on the Regulating Plan. Additionally, the standards on this spread specifically relate to residential building types.

- i. For developments of 10 or more acres, a maximum of 90% first floor building area of a proposed development shall be WU-TCR areas.

- ii. The Building Types that are permitted are as follows. The prescribed mix applies to developments of 10 or more acres:
- iii. Developments with greater than 12 units shall provide at least two primary building types:

<b>Type:</b>	
Flats	
Large-footprint:	no min./30% max.
Small-footprint:	5% min./30% max.
Townhouses/ Townhouse Court	10% min./60% max.
Civic	No minimum requirement





■ Building Envelope      ▨ Facade Zone

## ii. LOT

Lot Size by Type:	Width <b>A</b>	Depth <b>B</b>
Flats:	70 ft. min.	125 ft. min.
Townhouse:	20 ft. min.	85 ft. min.
Townhouse Court:	100 ft. min.	100 ft. min.

### Miscellaneous:

For Townhouse Court Types the minimum lot size above is for developments that utilize horizontal property regime. Individual lots with a single dwelling unit may have a 20 ft. min. lot width and 60 ft. min. lot depth.

## iii. PLACEMENT

### Build-to Zone and other Setbacks (from Lot Line):

#### Principal Building:

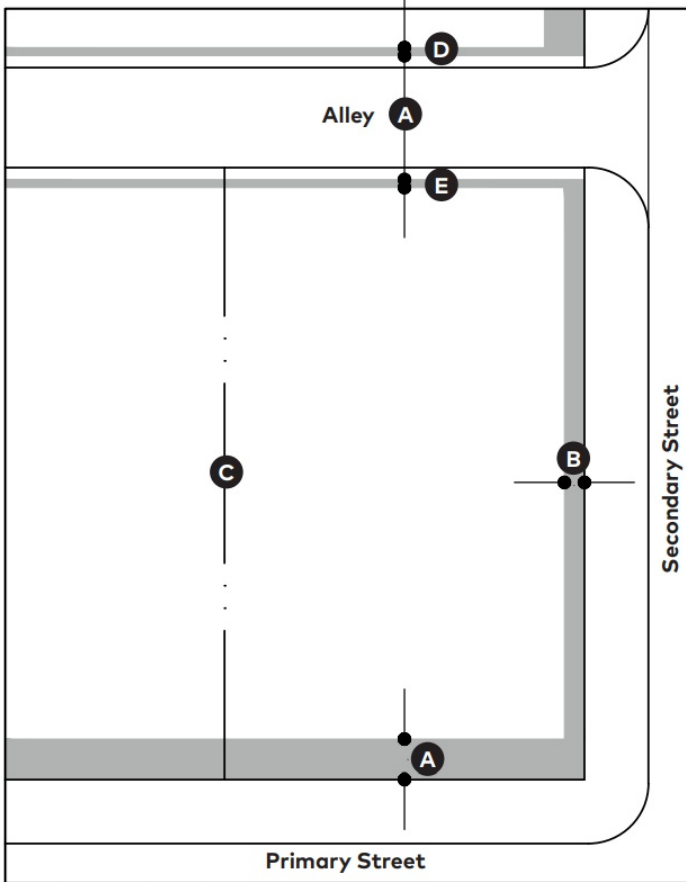
S. Hartmann/Leeville Build-to:	30 ft. min./80 ft. max.	<b>A</b>
Primary Street/Front Build-to:	10 ft. min./15 ft. max.	<b>A</b>
Secondary Street Build-to:	5 ft. min./15 ft. max.	<b>B</b>
Front Facade and attachments within Build-to:	80% min.	
Side Setback:	0 ft. min./end units 5 ft. min.	<b>C</b>
Rear & Alley Setback:	5 ft. min.	<b>D E</b>

#### Accessory Building(s):

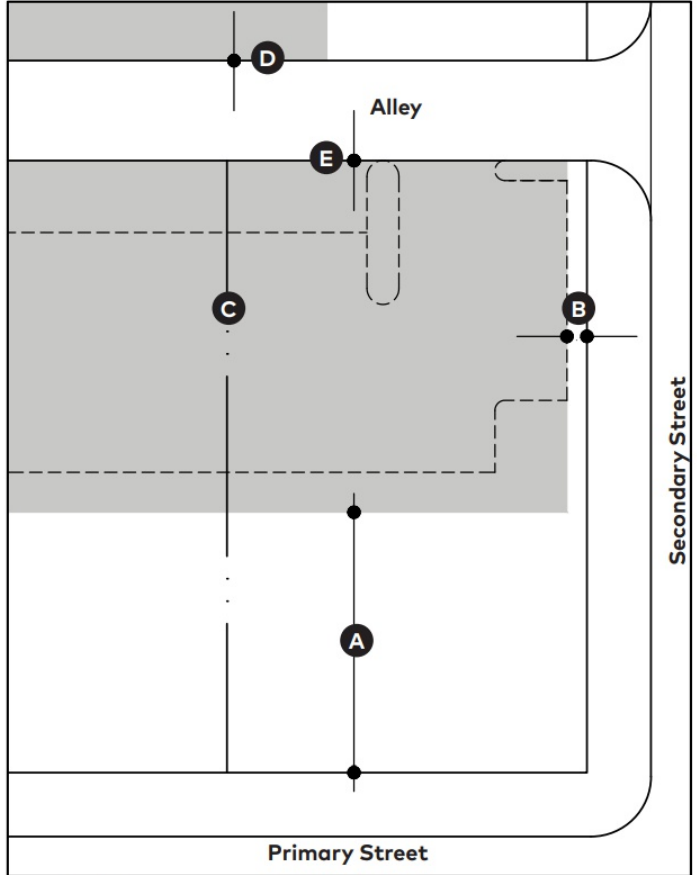
Primary Street/Front Setback:	50 ft. min.	<b>A</b>
Secondary Street Setback:	5 ft. min.	<b>B</b>
Side & Rear Setback:	10 ft. min.	<b>C D E</b>

### Miscellaneous Placement Standards:

- A maximum of 15% of total first floor residential units are permitted to front a usable open space type established in section 6. Refer to underlying zoning design standards for additional orientation requirements.
- 10 ft. min. required between buildings on a single lot.
- A 10 ft. min. pedestrian passage is required at 140ft. intervals to connect rear parking areas with sidewalk. **F**



■ Encroachment



■ Parking

**iv. FRONTAGE/ENCROACHMENTS**

**Private Frontage Types Allowed:**

Forecourt:	15 ft. max. depth
Stoop:	See Architectural Standards
Porch:	See Architectural Standards
Limited Parking:	S. Hartmann Dr./Leeville Pk. only

**Frontage Type Encroachments:**

Primary Street:	10 ft. max. <b>A</b>
Secondary Street:	15 ft. max. <b>B</b>

**Other Encroachments: **A B C D E****

Overhangs/Chimneys:	2 ft. max. (end units)
Balconies:	6ft. max.
Bays:	2 ft. max.

**Miscellaneous:**

- a. Encroachments are not permitted across a Lot or R.O.W. line except as indicated.

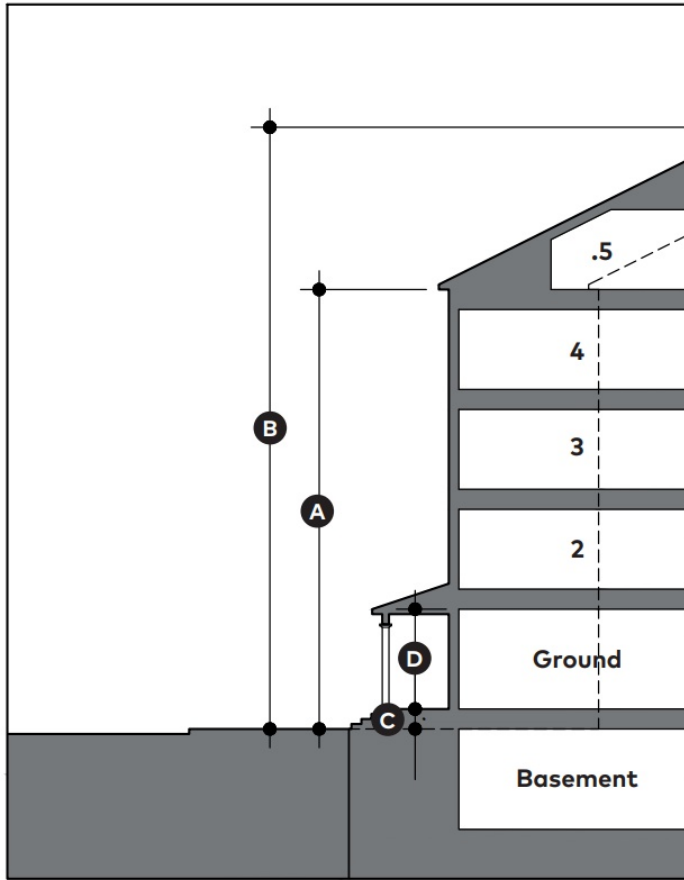
**iii. PARKING**

**Parking Setbacks:**

S. Hartmann Dr./Leeville Pk.:	15 ft. min. <b>A</b>
Primary Street:	50 ft. min. <b>A</b>
Secondary Street:	5 ft. min. <b>B</b>
Side:	0 ft. min. <b>C</b>
Rear & Alley:	0 ft. min. (driveways off alleys shall be either $\leq$ 5 ft. or $\geq$ 15 ft. <b>D E</b> )

**Miscellaneous:**

- a. Below grade parking may encroach to the lot line. Parking that is partially below grade may encroach to within 15 ft. of the lot line.
- b. Parking located in an attached garage may encroach within 15 ft. of the lot line.
- c. Access shall be from a rear alley or secondary street and cross access between parking areas is required. Access from S. Hartmann Drive should comply with the S. Hartmann Access Management Plan.



## vi. FORM

### Height:

#### Principal Building:

Airport Impact Zone:	
Stories:	3.5 max.
To eave/parapet:	35 ft. max. <b>A</b>
Overall:	55 ft. max.

#### All Other Areas:

Stories:	4.5 max.
To eave/parapet:	45 ft. max. <b>A</b>
Overall:	65 ft. max.

#### Accessory Building:

Accessory Dwelling:	NA
Other:	2 stories
Raised foundation:	1.5 ft. min. <b>B</b>
Ground floor ceiling:	9 ft. min. <b>C</b>
Upper floor ceiling(s):	8 ft. min.

### Articulation:

Building facades that face a street or open space shall not exceed 40 ft. in length without a building articulation intended to minimize the mass of the building.

### Transparency:

Building facades that face a street or open space shall have a minimum transparency for each story as described below and consisting of shopfronts, doors, windows, or a combination thereof. Window and door glazing shall not be mirrored or heavily tinted to avoid obscuring visibility into the building.

- a. First story residential uses shall have a minimum transparency of 20%.
- b. Upper stories shall have a minimum transparency of 15%.

### Miscellaneous:

- a. Development within the Airport Impact Zone may be limited further by the Airport Overlay District (AP).
- b. Buildings shall step down one story in height when located less than 60 ft. from WU-SFAD areas.

## vii. MATERIALS

### i. Primary Facade

A minimum of 75% of the facade area, exclusive of openings, shall be brick, stone, cast stone, or stucco (authentic). A maximum of 25% of the facade area may be wood siding/shingles/trim, fiber cement siding/shingles/trim, composite siding, or EIFS (upper stories only).

### ii. Secondary Facade

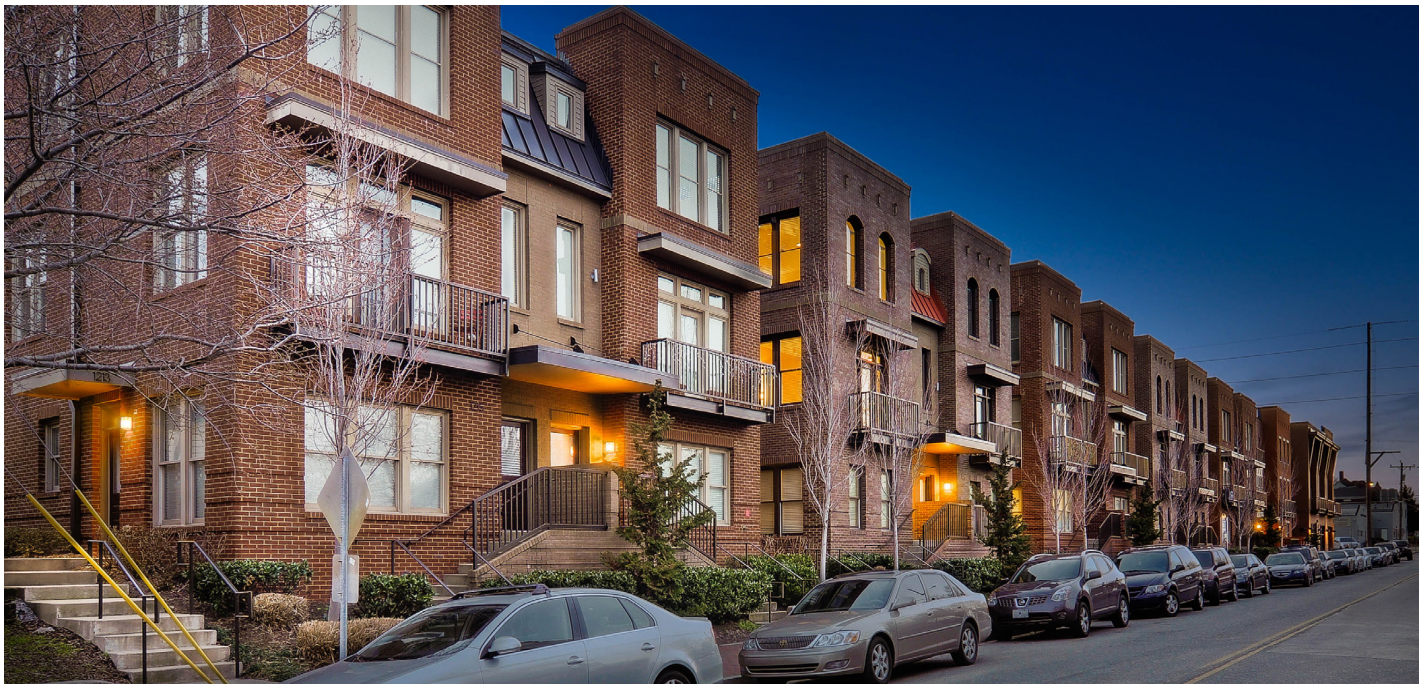
A minimum of 50% of the facade area, exclusive of openings, shall be brick, stone, cast stone, or stucco (authentic). A maximum of 50% of the facade area may be wood siding/shingles/trim, fiber cement siding/shingles/trim, composite siding, or EIFS (upper stories only).

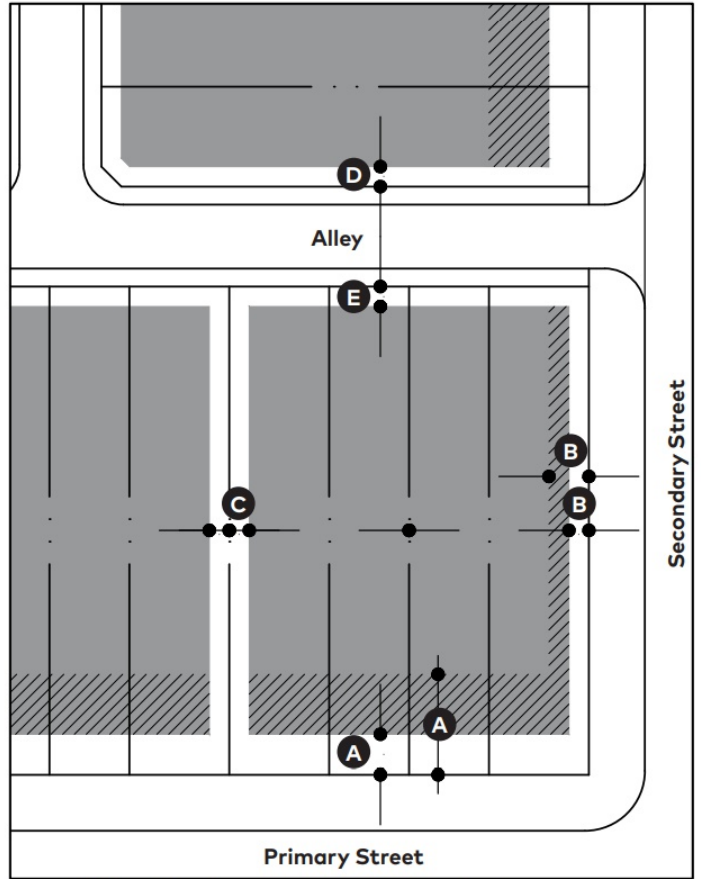
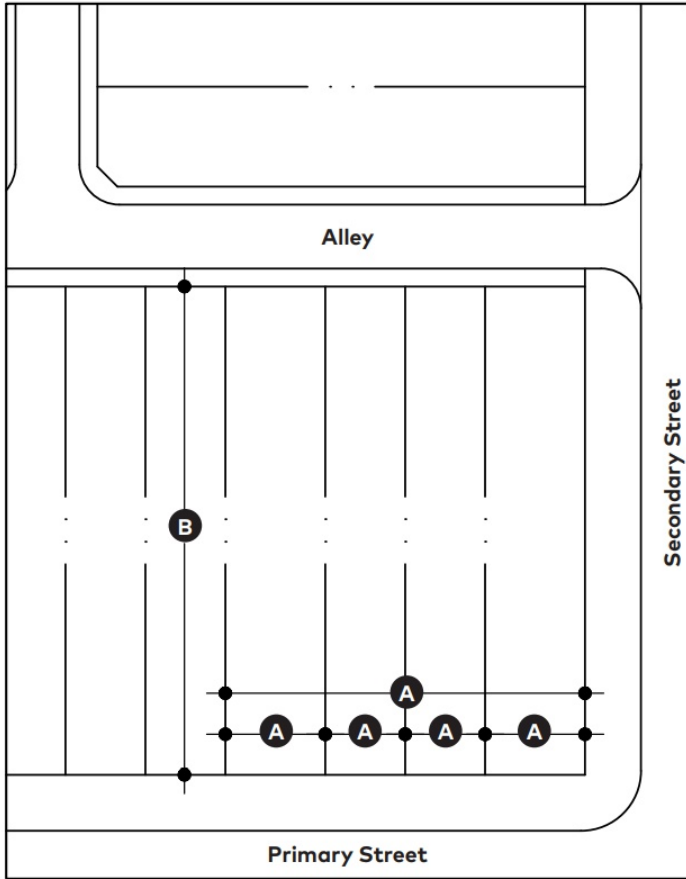
**f. Mixed Housing (WU-MxH) Standards**

The diagrams, photographs, and text in this section define the intent and standards for the Mixed Housing Sub-district as identified on the Regulating Plan. Additionally, the standards on this spread specifically relate to residential building types.

- i. The Building Types that are permitted are as follows. The prescribed mix applies to developments of 10 or more acres:
- ii. Developments with greater than 12 units shall provide at least two primary building types:

<b>Type:</b>	<b>% of Residential Units:</b>
Flats	
Large-footprint:	no min./20% max.
Small-footprint:	5% min./30% max.
Mansion Flats	no min./30% max.
Townhouses/ Townhouse Court	5% min./80% max.
Two-family House	5% min./30% max.
Cottage Court	No min./20% max.
ADU	No minimum requirement
Civic	No minimum requirement





■ Building Envelope      ▨ Facade Zone

**ii. LOT**

Lot Size by Type:	Width <b>A</b>	Depth <b>B</b>
Flats:	70 ft. min.	100 ft. min.
Townhouse:	18 ft. min.	60 ft. min.
Townhouse Court:	100 ft. min.	100 ft. min.
Two-family house:	50 ft. min.	100 ft. min.
Cottage Court:	100 ft. min.	100 ft. min.
ADU:	NA	NA

**Miscellaneous:**

For Cottage/Townhouse Court Types the minimum lot size above is for developments that utilize horizontal property regime. Individual lots with a single dwelling unit may have a 30 ft. min. lot width and 60 ft. min. lot depth. for Cottage Courts and a 20 ft. min. lot width for and 60 ft. min. lot depth for Townhouse Courts.

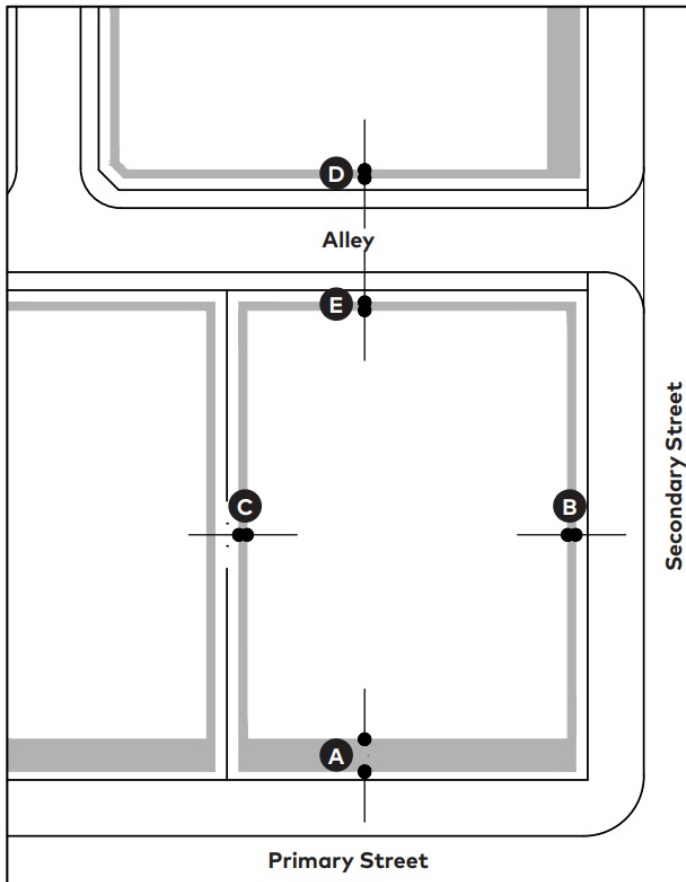
**iii. PLACEMENT**

**Build-to Zone and other Setbacks (from Lot Line):**

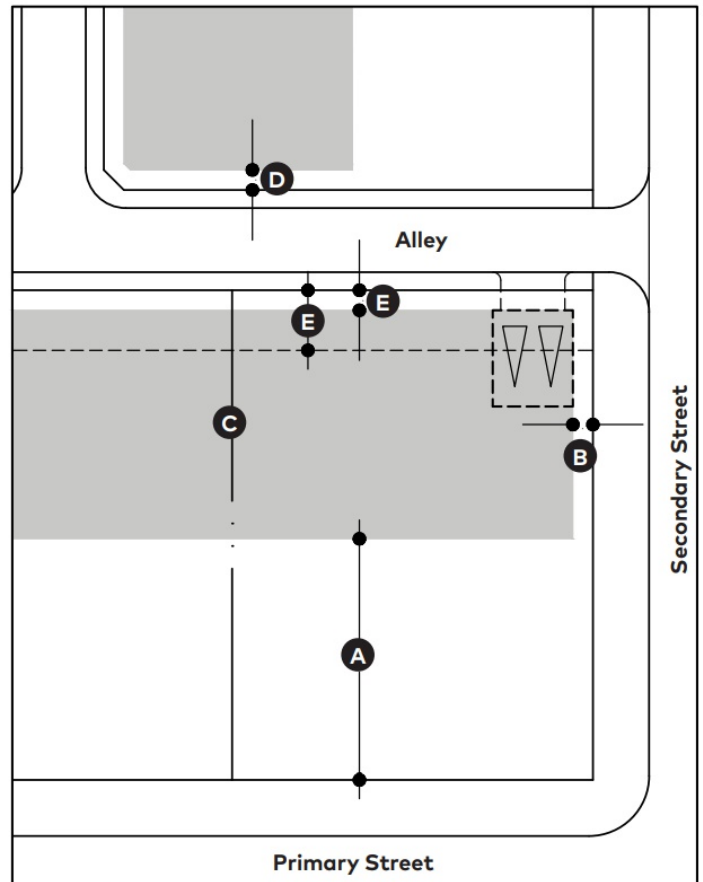
- Principal Building:**  
 S. Hartmann/Leeville Build-to: 30 ft. min./40 ft. max. **A**  
 Primary Street/Front Build-to: 10 ft. min./20 ft. max. **A**  
 Secondary Street Build-to: 5 ft. min./20 ft. max. **B**  
 Front Facade and attachments within Build-to: 80% min.  
 Side Setback: 0 ft. min./end units 5 ft. min. **C**  
 Rear & Alley Setback: 5 ft. min. **D E**
- Accessory Building(s):**  
 Primary Street/Front Setback: 50 ft. min. **A**  
 Secondary Street Setback: 10 ft. min. **B**  
 Side & Rear Setback: 5 ft. min. **C D E**

**Miscellaneous Placement Standards:**

- A maximum of 15% of total first floor residential units are permitted to front a usable open space type established in section 6. Refer to underlying zoning design standards for additional orientation requirements.
- 10 ft. min. required between buildings on a single lot.
- For Townhouse/Cottage Court Types, front facades shall be 5 ft. min. and 15 ft. max. from edge of the courtyard.



Encroachment



Parking

#### iv. FRONTAGE/ENCROACHMENTS

##### Private Frontage Types Allowed:

Forecourt:	20 ft. max. depth
Stoop:	See Architectural Standards
Porch:	See Architectural Standards

##### Frontage Type Encroachments:

Primary Street:	8 ft. max. <b>A</b>
Secondary Street:	2 ft. max. <b>B</b>

##### Other Encroachments: **A B C D E**

Overhangs/Chimneys:	2 ft. max.
Balconies:	6ft. max.
Bays:	2 ft. max.

##### Miscellaneous:

- a. Encroachments are not permitted across a Lot or R.O.W. line except as indicated.

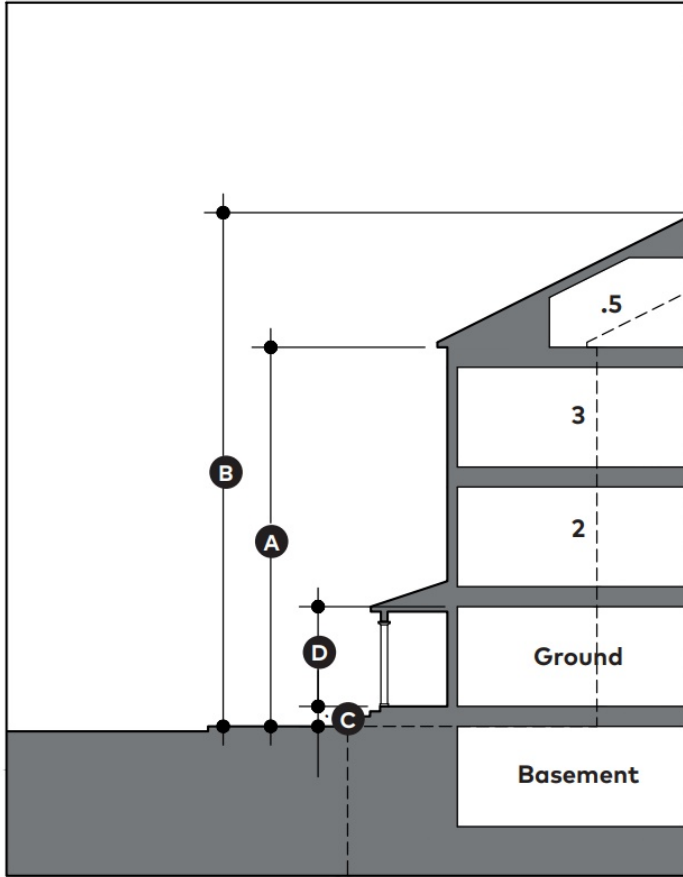
#### iii. PARKING

##### Parking Setbacks:

S. Hartmann Dr./Leeville Pk.:	70 ft. min. <b>A</b>
Primary Street:	50 ft. min. <b>A</b>
Secondary Street:	5 ft. min. <b>B</b>
Side:	0 ft. min. <b>C</b>
Rear & Alley:	5 ft. min. (driveways off alleys shall be either $\leq$ 5 ft. or $\geq$ 15 ft. <b>D E</b> )

##### Miscellaneous:

- a. Below grade parking may encroach to the lot line. Parking that is partially below grade may encroach to within 20 ft. of the lot line.
- b. Parking located in an attached garage may encroach within 20 ft. of the lot line.
- c. Access shall be from a rear alley or secondary street and cross access between parking areas is required. Access from S. Hartmann Drive should comply with the S. Hartmann Access Management Plan.



## vi. FORM

### Height:

#### Principal Building - Flats, Townhouses:

Stories:	3.5 max.
To eave/parapet:	35 ft. max. <b>A</b>
Overall:	55 ft. max. <b>B</b>

#### Principal Building - Other types:

Stories:	2.5 max.
To eave/parapet:	25 ft. max. <b>A</b>
Overall:	40 ft. max. <b>B</b>

#### Accessory Building:

Accessory Dwelling:	2 stories max.
Other:	1 story
Raised foundation:	1.5 ft. min. <b>C</b>
Ground floor ceiling:	9 ft. min. <b>D</b>
Upper floor ceiling(s):	8 ft. min.

### Articulation:

Building facades that face a street or open space shall not exceed 40 ft. in length without a building articulation intended to minimize the mass of the building.

### Transparency:

Building facades that face a street or open space shall have a minimum transparency for each story as described below and consisting of shopfronts, doors, windows, or a combination thereof. Window and door glazing shall not be mirrored or heavily tinted to avoid obscuring visibility into the building.

- a. First story residential uses shall have a minimum transparency of 20%.
- b. Upper stories shall have a minimum transparency of 15%.

## vii. MATERIALS

### i. Primary Facade

A minimum of 75% of the facade area, exclusive of openings, shall be brick, stone, cast stone, or stucco (authentic), wood siding/shingles/trim, fiber cement siding/shingles/trim, composite siding, or EIFS (upper stories only). A maximum of 25% of the facade area may be concrete block (split-faced/fluted), manufactured stone veneer siding, or architectural metal panels.

### ii. Secondary Facade

A minimum of 50% of the facade area, exclusive of openings, shall be brick, stone, cast stone, or stucco (authentic), wood siding/shingles/trim, fiber cement siding/shingles/trim, composite siding, or EIFS (upper stories only). A maximum of 50% of the facade area may be concrete block (split-faced/fluted), manufactured stone veneer siding, or architectural metal panels.

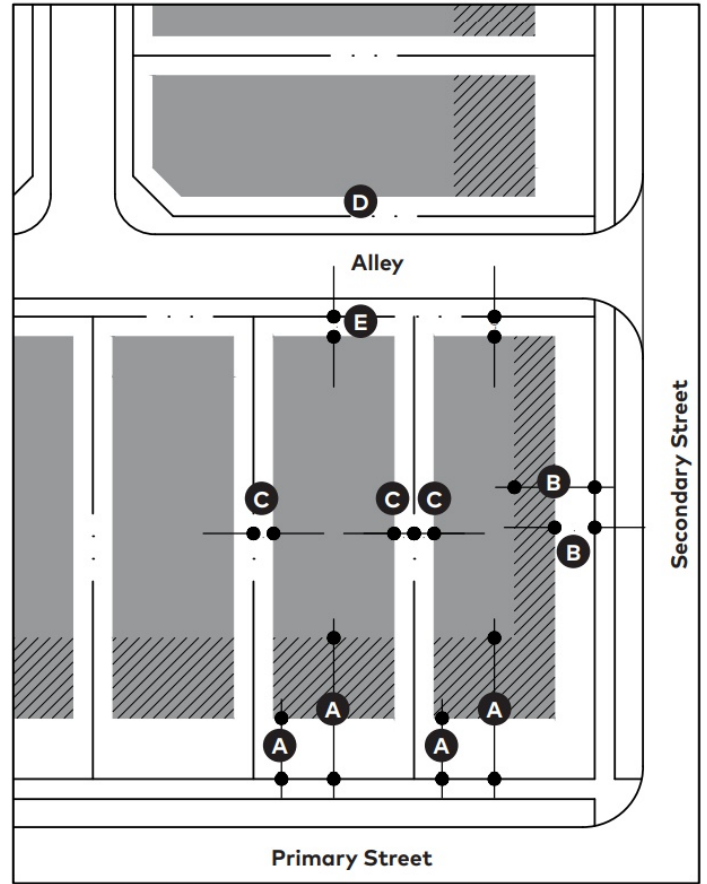
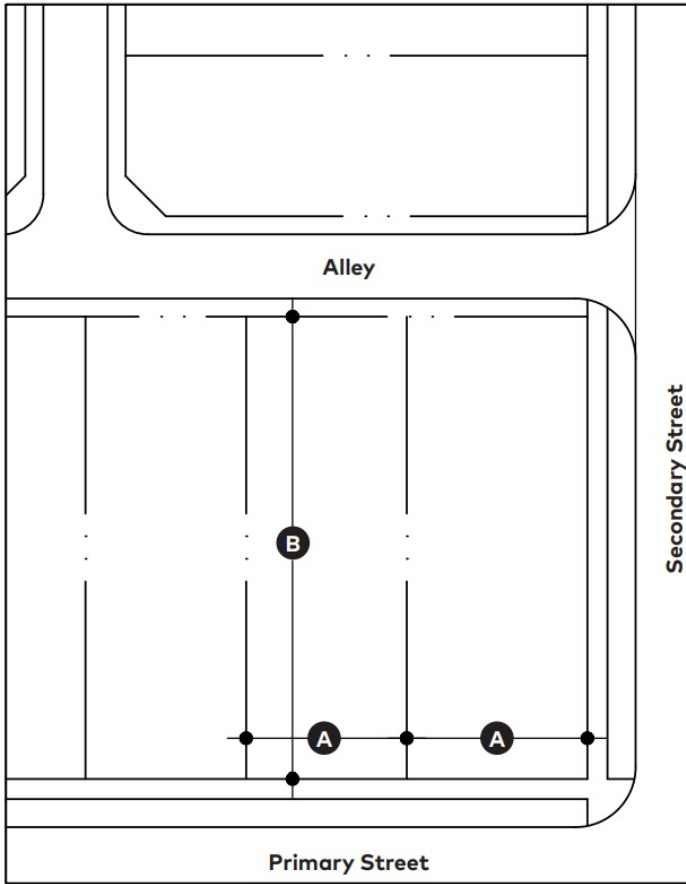
**g. Single-family Attached and Detached (WU-SFAD) Standards**

The diagrams, photographs, and text in this section define the intent and standards for the Single-family Attached and Detached Sub-district as identified on the Regulating Plan. Additionally, the standards on this spread specifically relate to residential building types.

- i. The Building Types that are permitted are as follows. The prescribed mix applies to developments of 10 or more acres:
- ii. Developments with greater than 12 units shall provide at least two primary building types:

<b>Type:</b>	<b>% of Residential Units:</b>
Townhouses/ Townhouse Court	No min./20% max.
Two-family House	5% min./30% max.
Cottage Court	No min./30% max.
House	20% min./70% max.
ADU	No minimum requirement
Civic	No minimum requirement





■ Building Envelope      ▨ Facade Zone

## ii. LOT

Lot Size by Type:	Width <b>A</b>	Depth <b>B</b>
Townhouse:	18 ft. min.	60 ft. min.
Townhouse Court:	100 ft. min.	100 ft. min.
Two-family house:	50 ft. min.	100 ft. min.
Cottage Court:	100 ft. min.	100 ft. min.
House:	40 ft. min.	100 ft. min.
ADU:	NA	NA

### Miscellaneous:

For Cottage/Townhouse Court Types the minimum lot size above is for developments that utilize horizontal property regime. Individual lots with a single dwelling unit may have a 30 ft. min. lot width and 60 ft. min. lot depth. for Cottage Courts and a 20 ft. min. lot width for and 60 ft. min. lot depth for Townhouse Courts.

## iii. PLACEMENT

### Build-to Zone and other Setbacks (from Lot Line):

#### Principal Building:

Primary Street/Front Build-to: 15 ft. min./30 ft. max. **A**

Secondary Street Build-to: 10 ft. min./30 ft. max. **B**

Front Facade and attachments within Build-to: 50% min.

Side: 0 ft. min./end units 5 ft. min. **C**

Rear & Alley Setback: 5 ft. min. **D E**

#### Accessory Building(s):

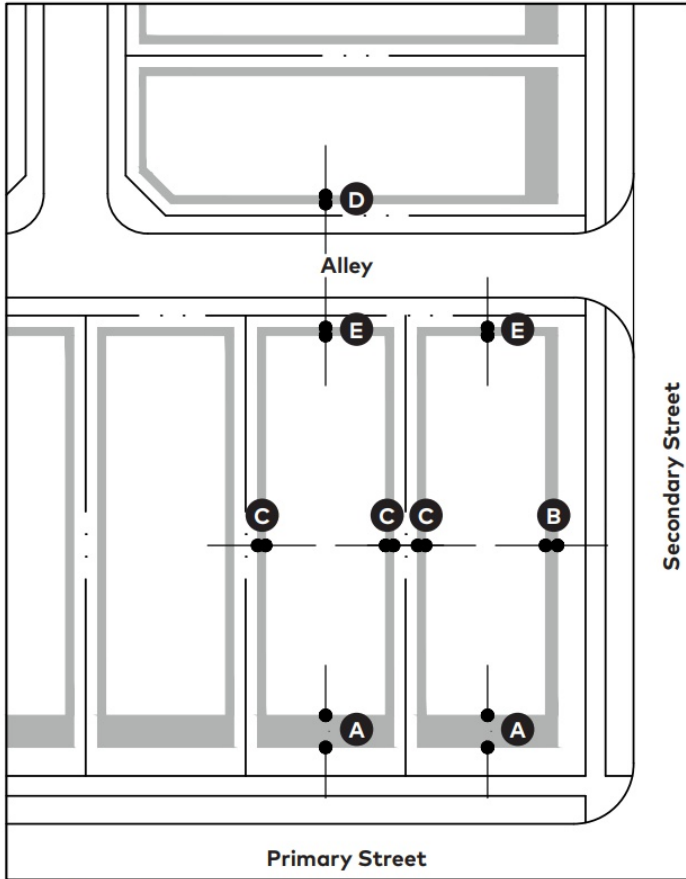
Primary Street/Front Setback: 50 ft. min. **A**

Secondary Street: 10 ft. min. **B**

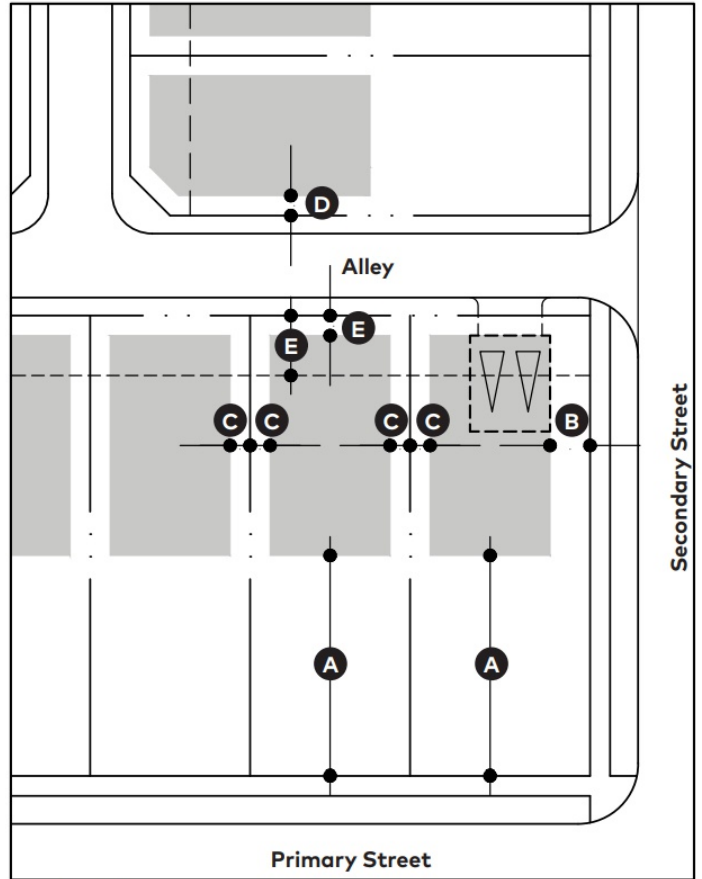
Side & Rear Setback: 5 ft. min. **D E**

### Miscellaneous:

- Only Townhouse Courts or Cottage Courts are permitted to have units that front open space, in the form of courtyards as described in section 2.
- Refer to underlying zoning design standards for additional orientation requirements.
- Cottage Court Types, front facades shall be 5 ft. min. and 15 ft. max. from edge of courtyard and 10 ft. min. between buildings.



■ Encroachment



■ Parking

#### iv. FRONTAGE/ENCROACHMENTS

##### Private Frontage Types Allowed:

Stoop: See Architectural Standards  
 Porch: See Architectural Standards

##### Frontage Type Encroachments:

Primary Street: 8 ft. max. **A**  
 Secondary Street: 2 ft. max. **B**

##### Other Encroachments: **A B C D E**

Overhangs/Chimneys: 2 ft. max.  
 Bays: 3 ft. max.

##### Miscellaneous:

a. Encroachments are not permitted across a Lot or R.O.W. line except as indicated.

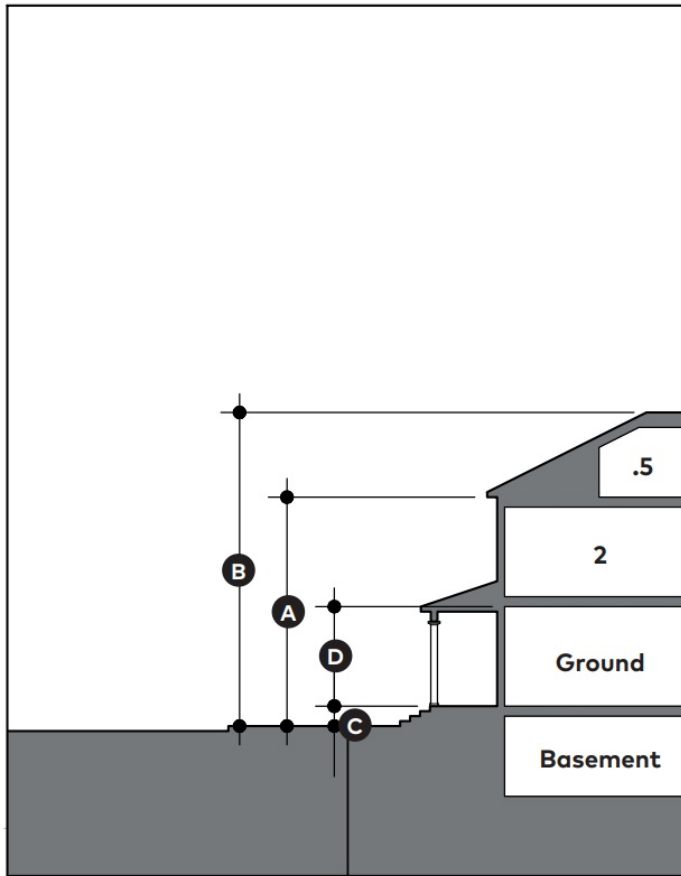
#### iii. PARKING

##### Parking Setbacks:

Primary Street: 50 ft. min. **A**  
 Secondary Street: 10 ft. min. **B**  
 Side: 5 ft. min. **C**  
 Rear & Alley: 5 ft. min. (driveways off alleys shall be either  $\leq 5$  ft. or  $\geq 15$  ft. **D E**)

##### Miscellaneous:

a. Access shall be from a rear alley or secondary street where feasible. Any attached garages that are accessed from and face a street shall be recessed behind the front facade of the principal building 10 ft. min.



## vi. FORM

### Height:

#### Principal Building:

Stories:	2.5 max.
To eave:	25 ft. max. <b>A</b>
Overall:	40 ft. max. <b>B</b>

#### Accessory Building:

Accessory Dwelling:	2 stories max.
Other:	1 story
Raised foundation:	1.5 ft. min. <b>C</b>
Ground floor ceiling:	9 ft. min. <b>D</b>

### Articulation:

Building facades that face a street or open space shall not exceed 40 ft. in length without a building articulation intended to minimize the mass of the building.

### Transparency:

Building facades that face a street or open space shall have a minimum transparency for each story as described below and consisting of shopfronts, doors, windows, or a combination thereof. Window and door glazing shall not be mirrored or heavily tinted to avoid obscuring visibility into the building.

- a. First stories shall have a minimum transparency of 20%.
- b. Upper stories shall have a minimum transparency of 15%.

## vii. MATERIALS

### i. Primary Facade

A minimum of 85% of the facade area, exclusive of openings, shall be brick, stone, cast stone, or stucco (authentic), wood siding/shingles/trim, fiber cement siding/shingles/trim, composite siding, or EIFS (upper stories only). A maximum of 15% of the facade area may be concrete block (split-faced/fluted), manufactured stone veneer siding, or architectural metal panels.

### ii. Secondary Facade

A minimum of 75% of the facade area, exclusive of openings, shall be brick, stone, cast stone, or stucco (authentic), wood siding/shingles/trim, fiber cement siding/shingles/trim, composite siding, or EIFS (upper stories only). A maximum of 25% of the facade area may be concrete block (split-faced/fluted), manufactured stone veneer siding, or architectural metal panels.

**3. Standards Specific to Auto-dependent Suburban Sub-districts (AS-)**

The standards in this section apply to the Auto-dependent Suburban Sub-districts as designated on the Regulating Plan.

**a. Land Use**

Permitted land uses shall be in accordance with the permitted land uses of the underlying base zoning district as established in Chapters 5 and 6 of the Lebanon Zoning Ordinance.

**b. Bulk Standards**

The bulk standards that vary from the underlying base zoning within the AS- subdistricts are established in table C-1 below.

**4. Standards Specific to Civic and Open Space Sub-districts**

**a. Intent**

The majority of areas designated as Open Space in the South Hartmann Gateway Plan are located in flood hazard areas. While it is the intent for these areas to be preserved from development, any current development rights should remain in place until such areas can be dedicated for preservation.

**b. Land Use**

Permitted land uses shall be in accordance with the permitted land uses of the underlying base zoning

district as established in Chapter 3 of the Lebanon Zoning Ordinance.

**c. Bulk Standards**

The bulk standards for development shall be in accordance with that of the underlying base zoning district as established in Chapter 3 of the Lebanon Zoning Ordinance.

**5. Thoroughfares**

**a. Intent**

Improvements to South Hartmann Drive should be guided by the South Hartmann Gateway Master Plan (see section on p. 36) and the South Hartmann Access Management Plan. The design of thoroughfares in the Auto-dependent Suburban Sub-districts should be governed by the current design standards for roadways in Lebanon. The design of thoroughfares within the Walkable Urban Sub-districts should be guided by this section to create a functional transportation system that complements the vision for future development.

**b. Connectivity**

Each development shall be internally connected by a clear pattern of blocks and streets. Each development shall connect to surrounding development or be designed to connect to surrounding development in the future.

**TABLE C-1 BULK STANDARDS FOR AS- SUB-DISTRICTS**

Sub-district	Min. % 1st Floor Building Area for Non-residential Use	Min. Lot Area	Min. Lot Width	Setbacks			Height	Building Area (footprint)
				Front	Side	Rear		
AS-IC	None	per Base Zoning		20 ft. min.	per Base Zoning	20 ft. min.	5 stories/ 75 ft.	0.60
AS-PIR	15%	5,000 sf	50 ft.	20 ft. min./ 80 ft. max.			3 stories/ 45 ft.	
AS-SC							5 stories/ 75 ft.	
AS-OM								
AS-SFD	NA	per Base Zoning						NA

### c. Block Length

No block face shall be more than 600 feet in length without a dedicated service lane or pedestrian passage providing through access, except where environmental conditions warrant longer blocks.

### d. Dead-end Streets

Dead-end and cul-de-sac streets should be avoided, except where topographic features or configuration of property boundaries prevent street connections.

### e. Bicycle Network

Bicycle routes, lanes, and paths within developments shall be connected to the regional greenway system where possible.

### f. Greenways

Greenways within a development shall be designed in a manner consistent with the City of Lebanon's standards for greenways.

### g. Streetscape Furnishings

All developments shall provide a bike rack, trash receptacle, bench, or other approved element of street furniture for every one-hundred (100) feet of frontage along Street types 'A' and 'B' in the WU Sub-districts and along all street frontages in the AS-SC and AS-OM Sub-districts.

### h. Street Trees

Street trees are required on both sides of all streets other than alley. Street trees shall be a maximum of 40 ft. on center and placed within the planting strip. If utilities within a planting strip prevent the planting of street trees, alternate locations may be considered by Planning Staff.

### i. Street Standards

Street design should vary based on the intended development context. This overlay establishes six basic street types:

**Street 'A'** A street intended to serve intense commercial and mixed-use development with significant on-street parking opportunities in form of angled parking. This street includes wide pedestrian ways and consistent streetscape.

**Street 'B'** A street intended to serve moderate commercial and mixed-use development with on-street parking opportunities in the form of parallel parking. This street includes a narrower pedestrian way than Street 'A' but still significant with a consistent streetscape.

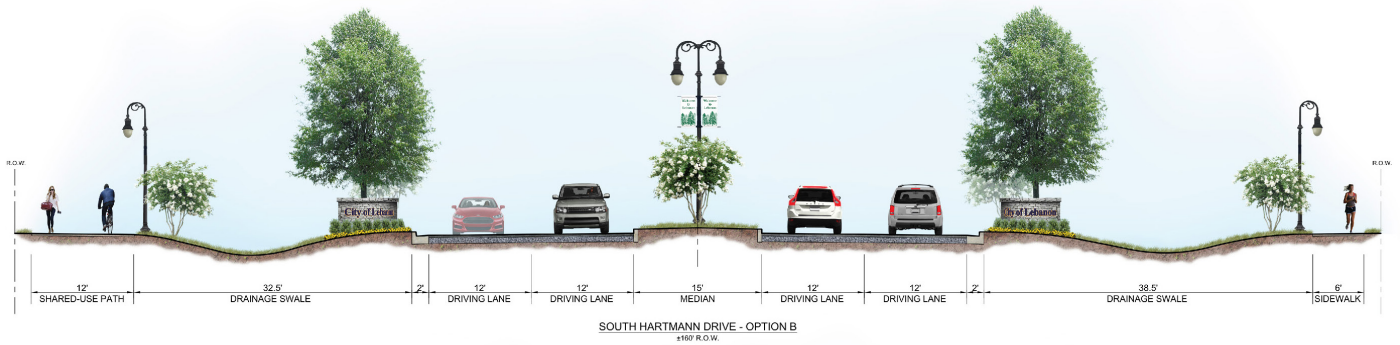
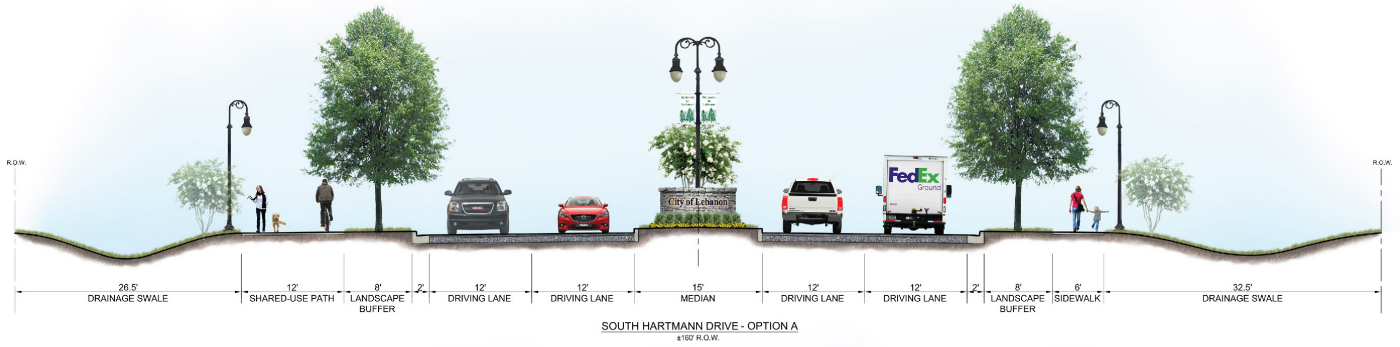
**Street 'C'** A street intended to serve intense residential development with two options for the edge of the travelway. One option provides space for buffered bicycle lanes on important bike routes and the other option provides dedicated onstreet parallel parking. The pedestrian way is narrower and protected from the travelway by the bike lane, parked cars, or a continuous planting strip.

**Street 'D'** A street intended to serve low intensity residential development.

**Alley 'A'** A rear service road intended to serve commercial and mixed-use development. It features a wider travelway for larger vehicles and two-way movement.

**Alley 'B'** A rear service road intended to serve moderate and low intensity residential development. The proposed section anticipates full pavement width; however, a ribbon alley with a center grass strip may be considered for alleys with low traffic volumes serving single-family detached residential.

The diagrams on the following pages establish the standards for various street types permitted by Walkable Urban Sub-district as indicated. Applicants may present alternative cross sections (for example: boulevards with planted center medians), which may be approved as long as the intent of creating a walkable environment is achieved.

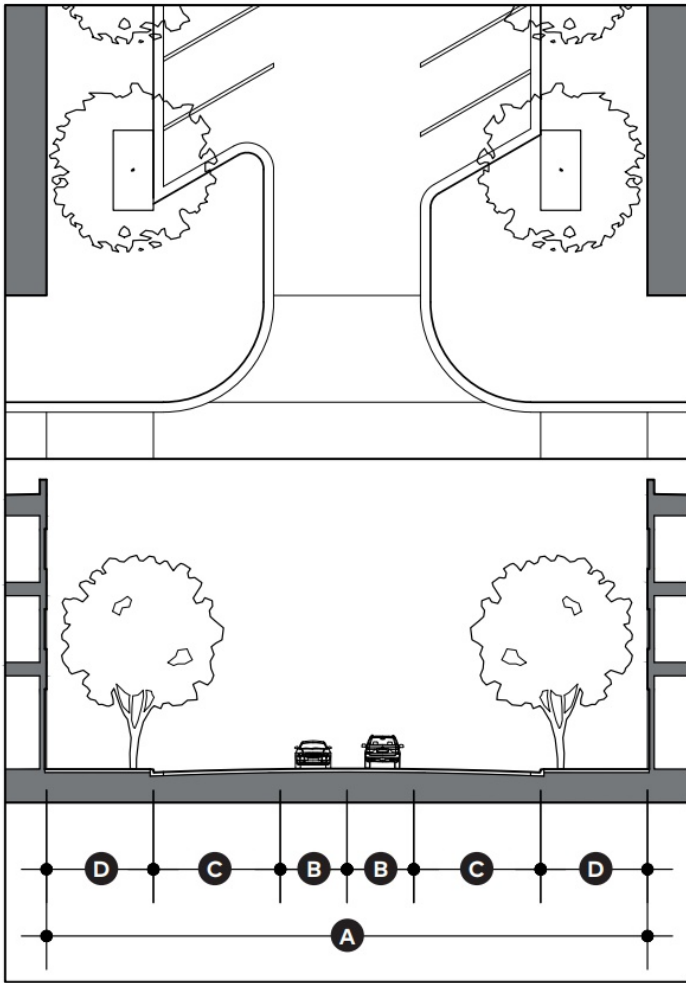


## South Hartmann Drive Conceptual Section

Section Option A Component:	Width
Right-Of-Way:	160 ft.+/-
Travel Lane(s):	12 ft.
Median:	15 ft.
Drainage Swale:	26.5 ft. - 32.5 ft.
Shared-use Path:	12 ft.
Sidewalk:	6 ft.
Landscape Buffer:	8 ft.

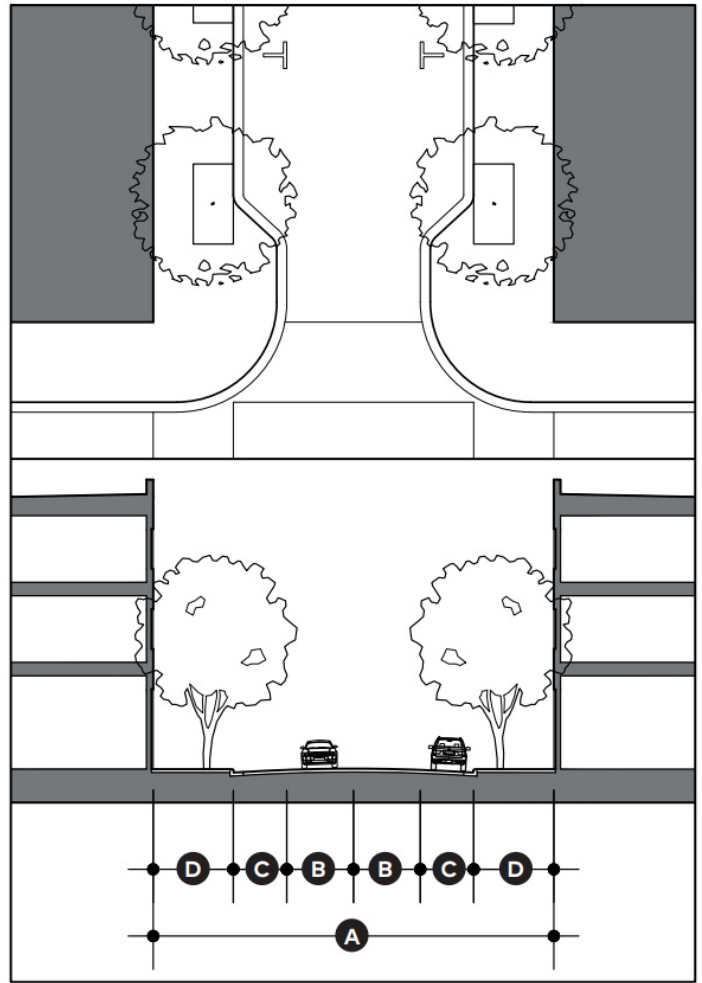
Section Option B Component:	Width
Right-Of-Way:	160 ft.+/-
Travel Lane(s):	12 ft.
Median:	15 ft.
Drainage Swale:	32.5 ft. - 38.5 ft.
Shared-use Path:	12 ft.
Sidewalk:	6 ft.



**Street 'A' (90' ROW)**

**Permitted in Sub-district(s):**

WU-TCMx



**Street 'B' (60' ROW)**

**Permitted in Sub-district(s):**

WU-TCMx  
WU-TCR

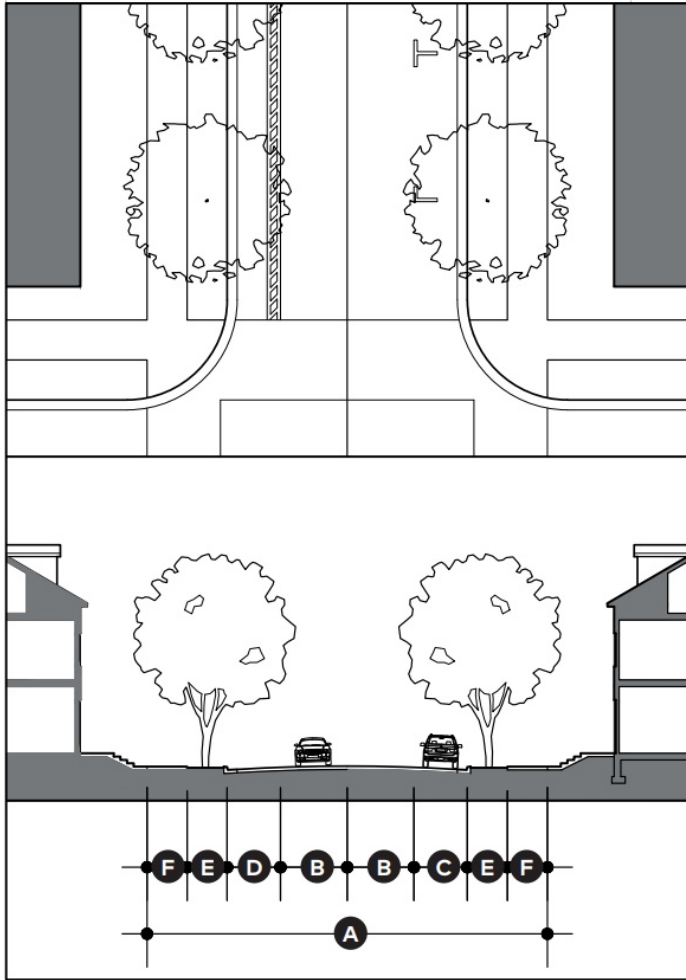
Section Component:	Width
Right-Of-Way:	90 ft. <b>A</b>
Travel Lane(s):	11 ft. <b>B</b>
45 deg. Diagonal Parking w/bulb-outs:	17.5 ft.* <b>C</b>
Curb and gutter:	2.5 ft.
Sidewalk w/ Planters:	16.5 ft. <b>D</b>

\*Coordinate angled parking with City standards in the Lebanon Zoning Ordinance.

Section Component:	Width
Right-Of-Way:	60 ft. <b>A</b>
Travel Lane(s):	11 ft. <b>B</b>
Parallel Parking w/bulb-outs:	8 ft. <b>C</b>
Curb and gutter:	2.5 ft.
Sidewalk w/ Planters:	10.5 ft. <b>D</b>

**Planters/Planting Strip:**

Planting strips shall be composed of trees in grates, wells, or planters. Planting strips shall not contain turf grass. While the street trees are the only plant materials required in the planting strip, low-growing shrubs and groundcovers are also encouraged within wells and planters.

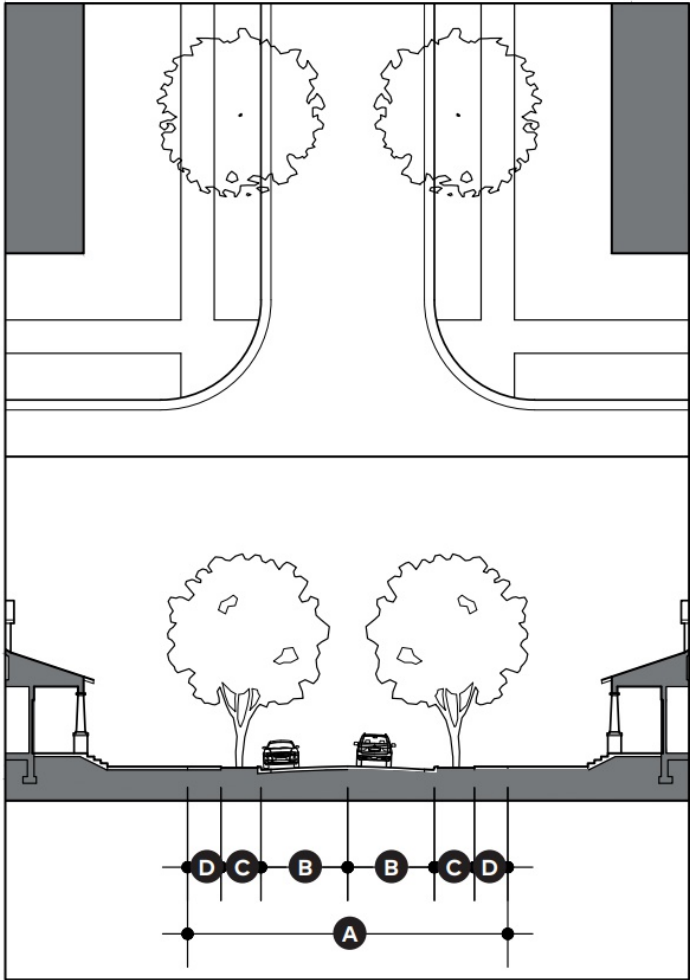


**Street 'C' (60' or 50' ROW)**

**Permitted in Sub-district(s):**

- WU-TCMx                      WU-MxH
- WU-TCR                      WU-SFAD

Section Component:	Width
Right-Of-Way:	60 ft. or 50 ft. <b>A</b>
Travel Lane(s):	10 ft. <b>B</b>
Parallel Parking (option A):	8 ft. <b>C</b>
Bicycle Lane and Buffer (option B):	<b>D</b>
Curb and gutter:	2 ft.
Planting Strip (not required w/ parallel parking):	6 ft.- 8ft. <b>E</b>
Sidewalk:	6 ft./7ft. abutting parking <b>F</b>



**Street 'D' (50' ROW)**

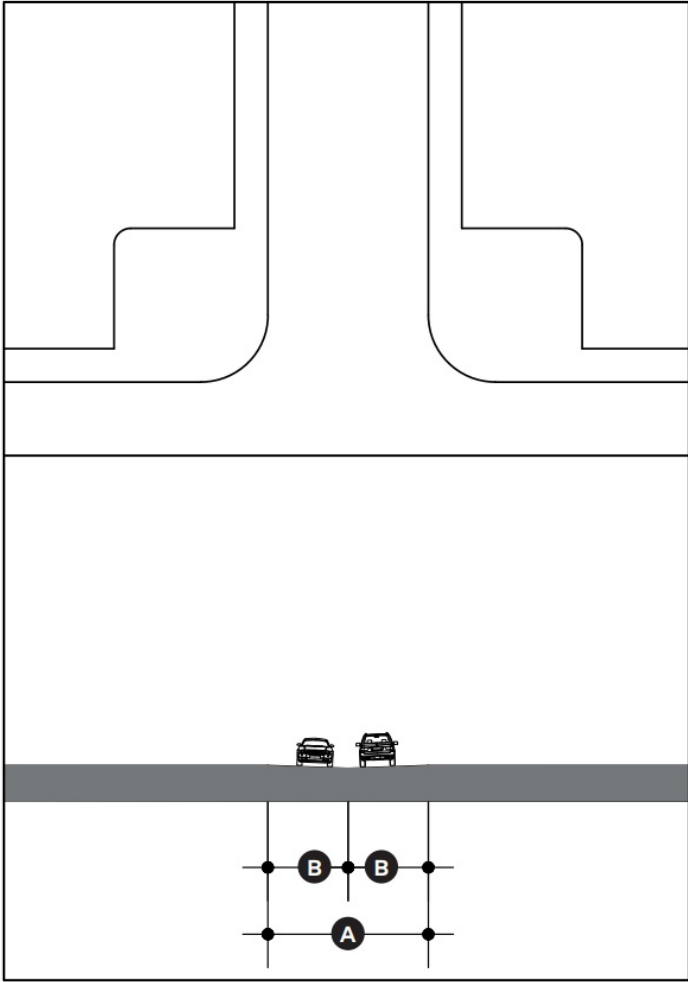
**Permitted in Sub-district(s):**

- WU-TCR                      WU-SFAD
- WU-MxH

Section Component:	Width
Right-Of-Way:	50 ft. <b>A</b>
Travel Lane(s):	11 ft. <b>B</b>
Curb and gutter:	2 ft.
Planting Strip:	7 ft. <b>C</b>
Sidewalk:	5 ft. <b>D</b>

**Planters/Planting Strip:**

Planting strips shall be continuous and composed of turf grass, low shrubs, perennials, or groundcover plantings.



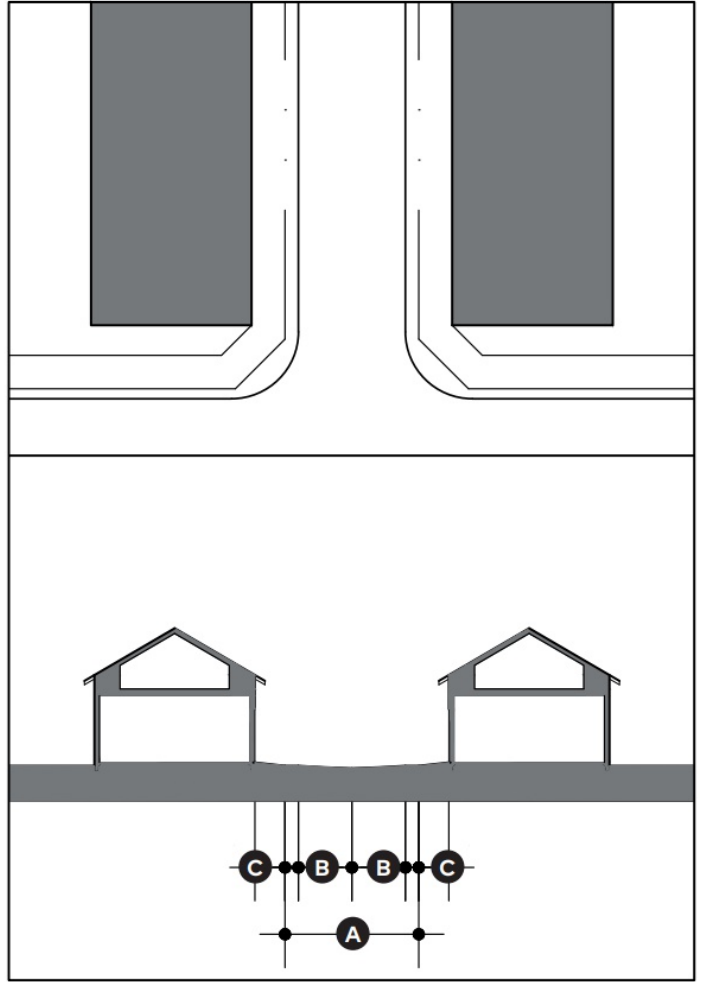
**Alley 'A' (22')**

**Permitted in Sub-district(s):**

- WU-TCMx
- WU-TCR

Section Component:	Width
--------------------	-------

- Right-Of-Way: 22 ft. **A**
- Travel Lane(s): 11 ft. **B**
- Center Drain



**Alley 'B' (20')**

**Permitted in Sub-district(s):**

- WU-TCR
- WU-MxH
- WU-SFAD

Section Component:	Width
--------------------	-------

- Right-Of-Way: 20 ft. **A**
- Travel Lane(s): 8 ft. **B**
- Shoulder: 2 ft. **C**
- Center Drain

## 6. Usable Open Spaces

### a. Intent

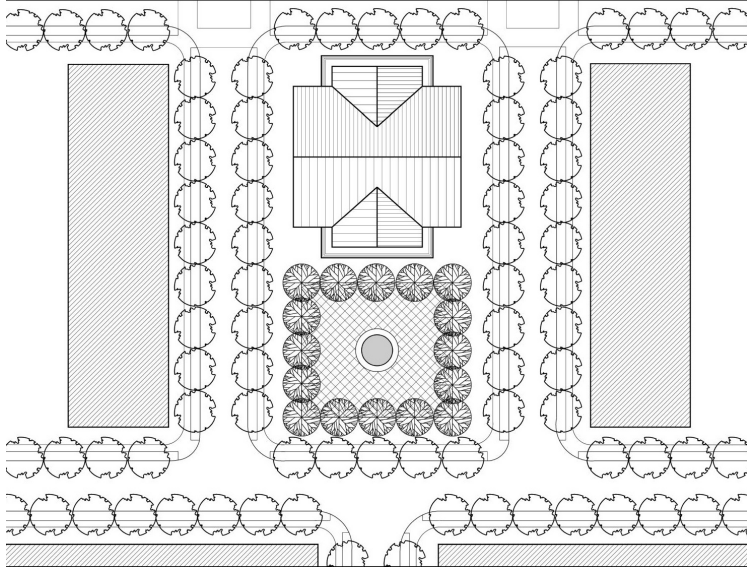
The intent of this section is to ensure that adequate landscaped areas and useable open space are provided where applicable within the overlay. Usable Open Space is land on a developed site that is set aside, dedicated, designated, or reserved for active or passive recreation, for the use and enjoyment of owners or occupants while enhancing the environment of a development or building.

### b. Required Usable Open Space

Usable open space is required in all sub-districts, with the exception of AS-IC. Where required, a minimum of 5% of the gross land area shall be set aside for useable open space for developments of 15 acres and greater. Residential only developments, excluding WU-TCR, shall provide a minimum 15% of land for usable open space.

### c. Usable Open Space areas shall meet the following design standards:

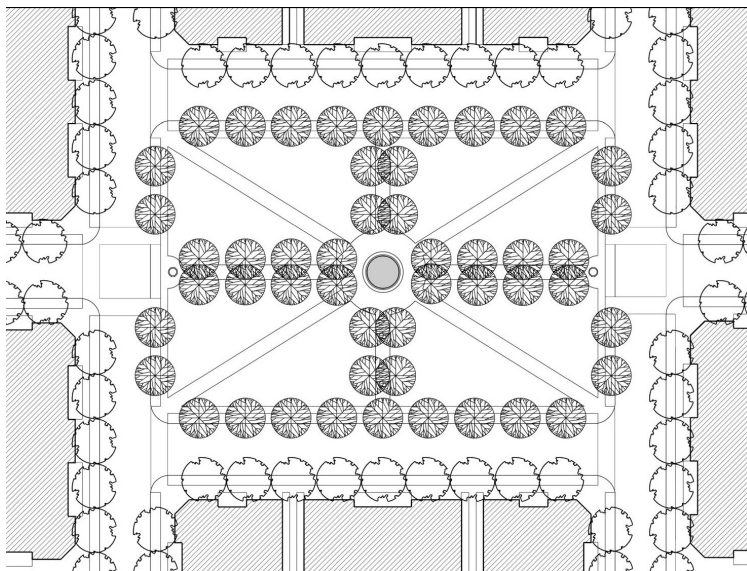
- i. **Location:** Open space shall be allocated in a location that is readily accessible and useable by residents and visitors of the development. Except where otherwise noted open spaces shall directly abut a street. Where possible, a portion of the open space should provide focal points for the development. Developments containing 50 acres or more shall locate a Park, Green, or Square at or near the centers of every 50 acres developed for residential use.
- ii. **Configuration:** Usable Open Spaces shall be compact and contiguous unless the land is used as a continuation of an existing trail, or specific natural or topographic features require a different configuration.
- iii. **Adjacent to Existing or Planned Open Space:** Where open areas, trails, parks, or other public spaces are planned or exist adjacent to the development parcel, the open space shall, to the maximum extent practicable, be located to adjoin, extend, and enlarge the presently existing trail, park, or other open space area.
- iv. **Prioritization:** To the maximum extent practicable, the Usable Open Space should be located and organized to include, protect, or enhance as many of the following open areas and features as possible:
  - a. Natural features such as riparian areas, wetlands, wildlife corridors, steep slopes, and mature trees;
  - b. Water features such as streams, creeks, rivers, natural drainage areas, lakes, and natural ponds;
  - c. Landscaped buffers or visual transitions between different types or intensities of uses;
  - d. Natural or geologic hazard areas or soil conditions, such as wetlands and floodplains; and
  - e. Habitat for endangered species.
- v. **Preservation of Natural Features:** The developer and property owner shall be responsible for the erection and maintenance of any and all barriers necessary to protect any existing or installed vegetation from damage both during and after construction. Barriers shall follow established standards for protection adopted by the City of Lebanon. Trees shall be protected according to figure 14-805.1 in the Lebanon Zoning Ordinance. No construction, grading, equipment or material storage, or any other activity is allowed within the fenced area.
- vi. **Ownership and Maintenance:** Open spaces shall be owned and maintained as permanent open space by a homeowners association, property owners association, private ownership with conservation easement, or public ownership when dedicated to the City of Lebanon or another appropriate public agency.
- vii. **Usable Open Space Standards:** Standards for the types of Usable Open Spaces permitted are established according to type on the following pages.



**j. Plaza**

A Plaza is a formal open space that is composed of hardscaped areas and is fronted on all sides by buildings that should contain commercial uses on the ground floor.

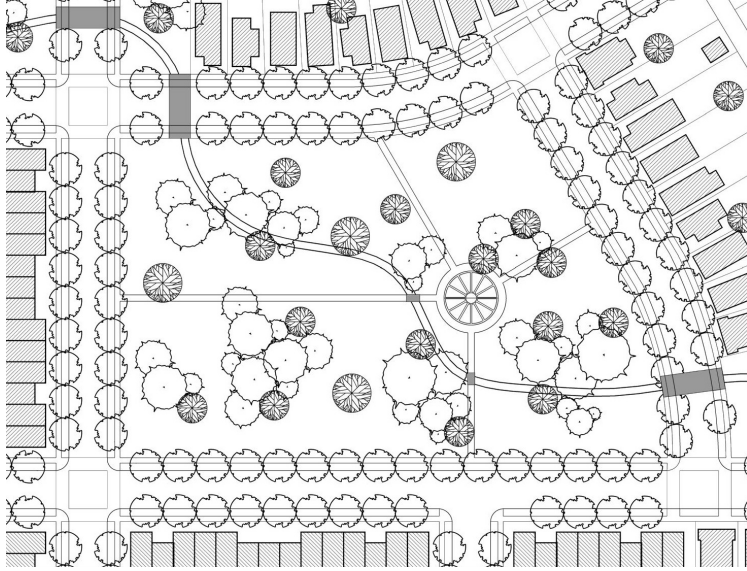
- Min. Size: 5,000 sf
- Max. Size: 20,000 sf
- Sub-districts: WU-TCMx  
AS-SC



**k. Square**

A Square is a formal open space that is composed of landscaped areas and is fronted on all sides by buildings that should contain commercial uses on the ground floor.

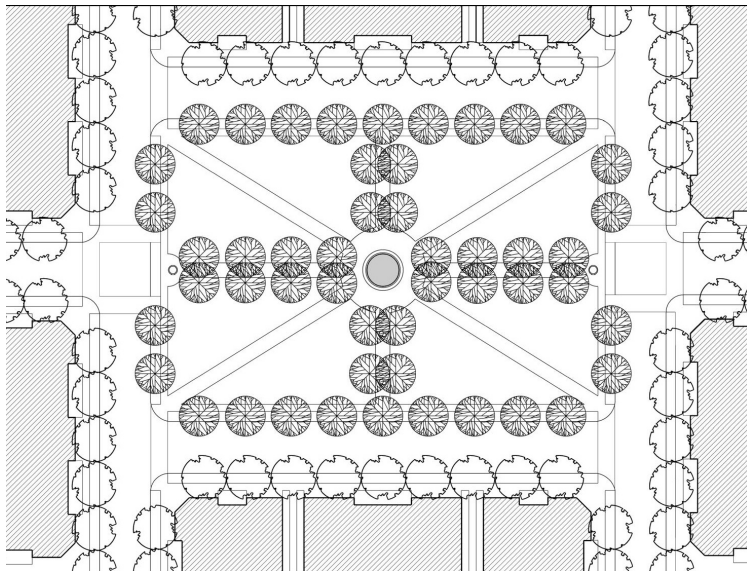
- Min. Size: 5,000 sf
- Max. Size: 40,000 sf
- Sub-districts: WU-TCMx  
AS-SC



**l. Green**

A Green is a medium-sized formal or informal open space for unstructured recreation with residential buildings fronting all sides. Greens are composed of paved or unpaved walks; grassy areas; and shade trees.

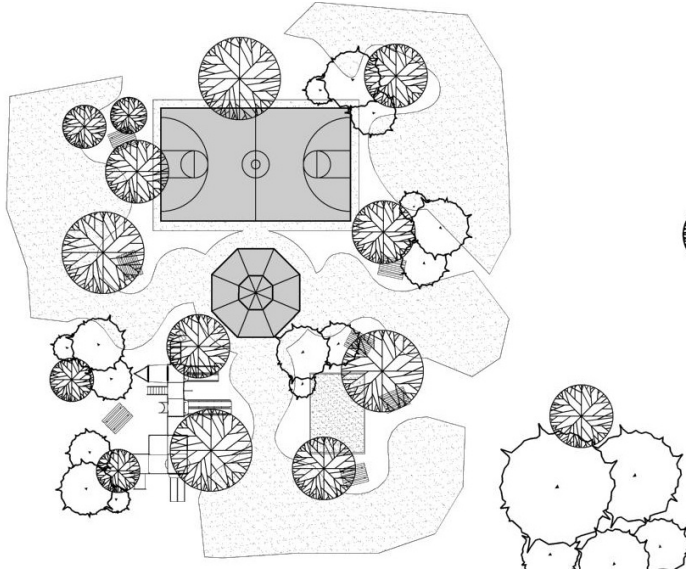
Min. Size:	10,000 sf
Max. Size:	5 ac
Sub-districts:	WU-TCR WU-MxH WU-SFAD AS-OM AS-SFD



**m. Neighborhood Park**

A Neighborhood Park is an informal open space that accommodates larger recreation facilities but serves only one neighborhood.

Min. Size:	80,000 sf
Max. Size:	10 ac
Sub-districts:	WU-MxH WU-SFAD AS-OM AS-SFD



**n. Playground**

A playground is a formal or informal open space that accommodates recreational equipment for children. Playgrounds may be included within Parks and Greens and should contain an open shelter; paved areas for court games; and space for spontaneous play.

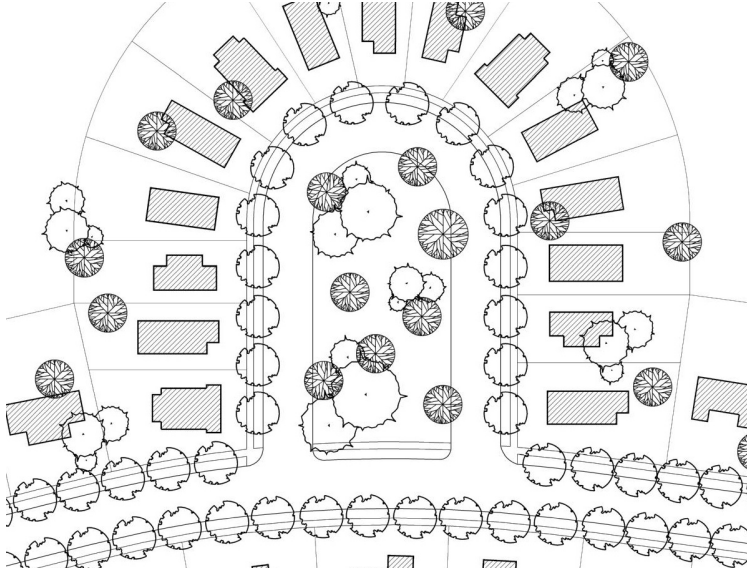
Min. Size:	none
Max. Size:	1 ac
Sub-districts:	all



**o. Pocket Park**

A Pocket Park is a formal or informal open space formed by the remaining space between streets, blocks, and buildings. Pocket Parks shall directly abut a street or other usable open space.

Min. Size:	1,800 sf
Max. Size:	5,000 sf
Sub-districts:	all



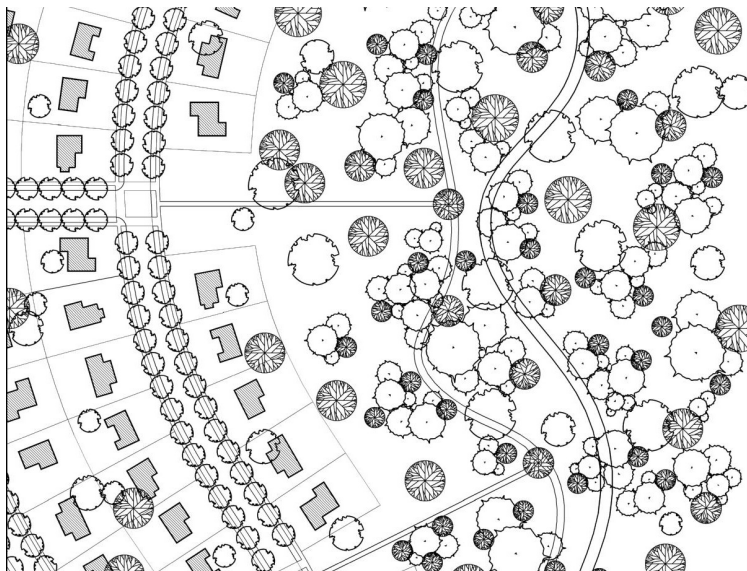
**p. Close**

A Close is a dead-end street with open space in the center of the turnaround area.

Min. Size: 100 ft. diameter

Max. Size: 1/2 ac

Sub-districts: WU-MxH  
WU-SFAD  
AS-OM  
AS-SFD



**q. Greenway**

A greenway trail is a linear open space that connects parks, greens, and squares within and between districts. It may accommodate cyclists, or pedestrians or both and shall be built compliant to ADA standards. Development of greenway trails that are proposed on the City's Parks and Trails map or near existing public trails shall coordinate with the City on providing public access to the new greenway trail segments.

Min. Size: 10 ft. path in 20 ft. easement

Max. Size: none

Sub-districts: all